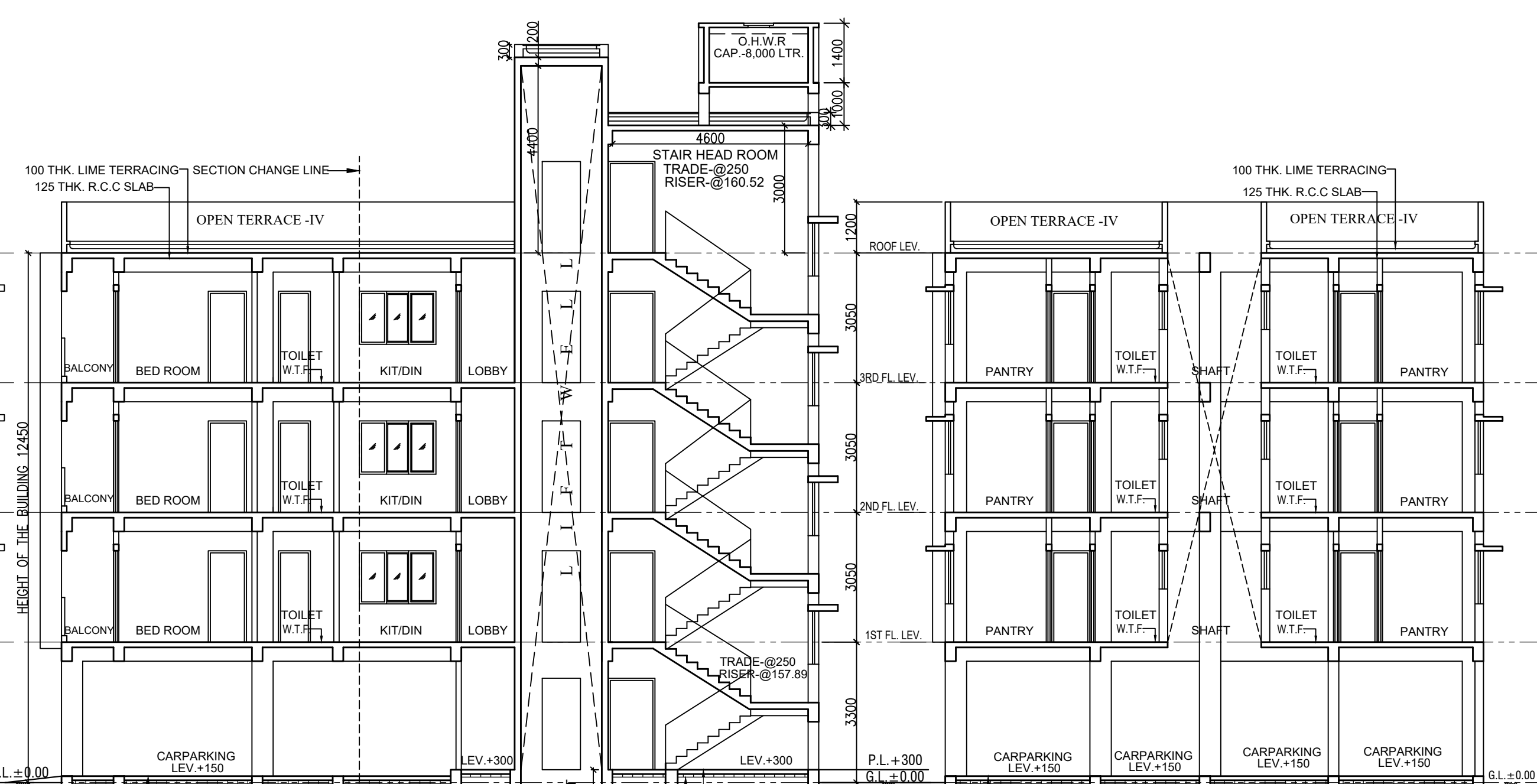




FRONT SIDE ELEVATION
SCALE- 1:100

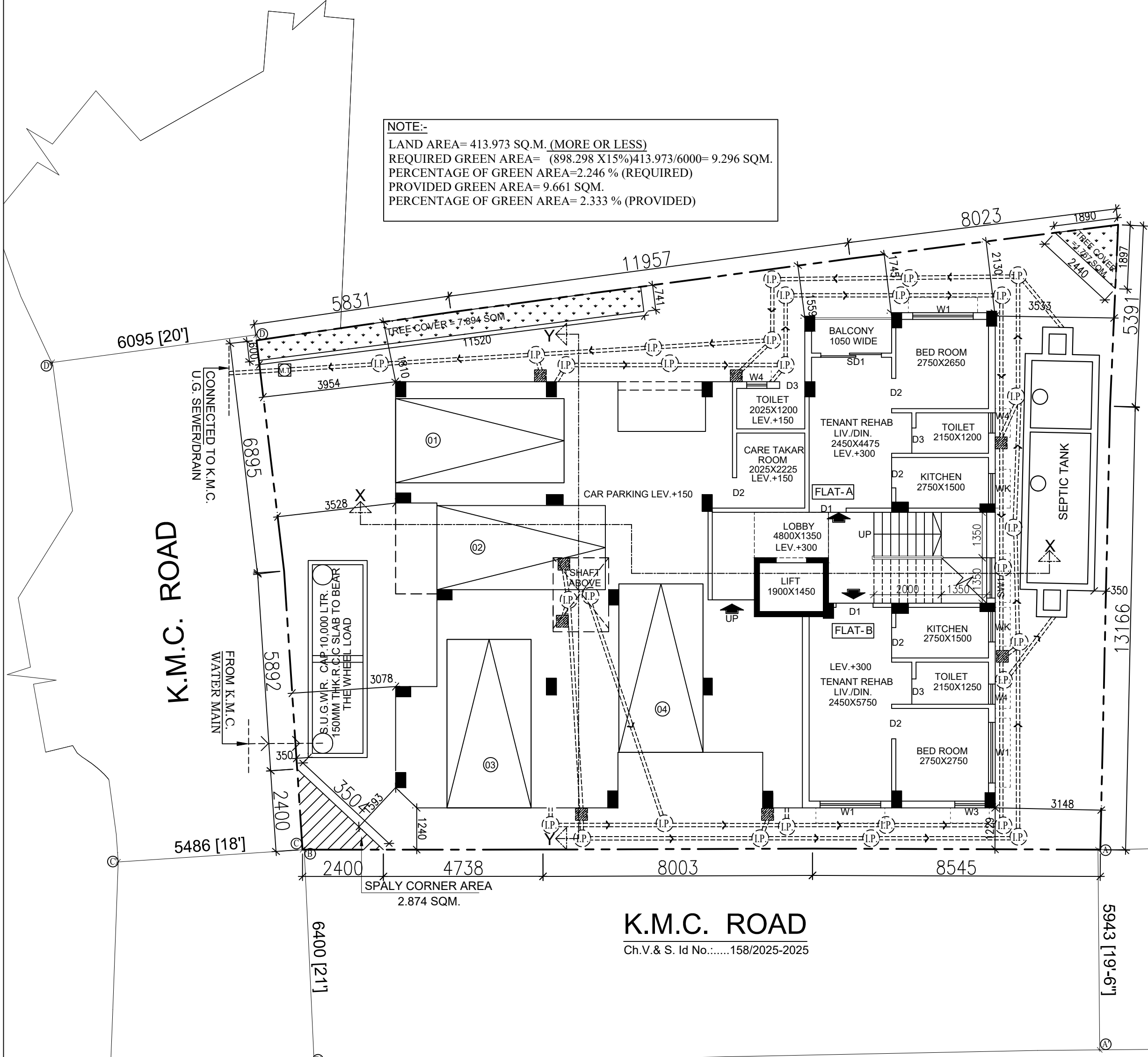
LEFT SIDE ELEVATION
SCALE- 1:100



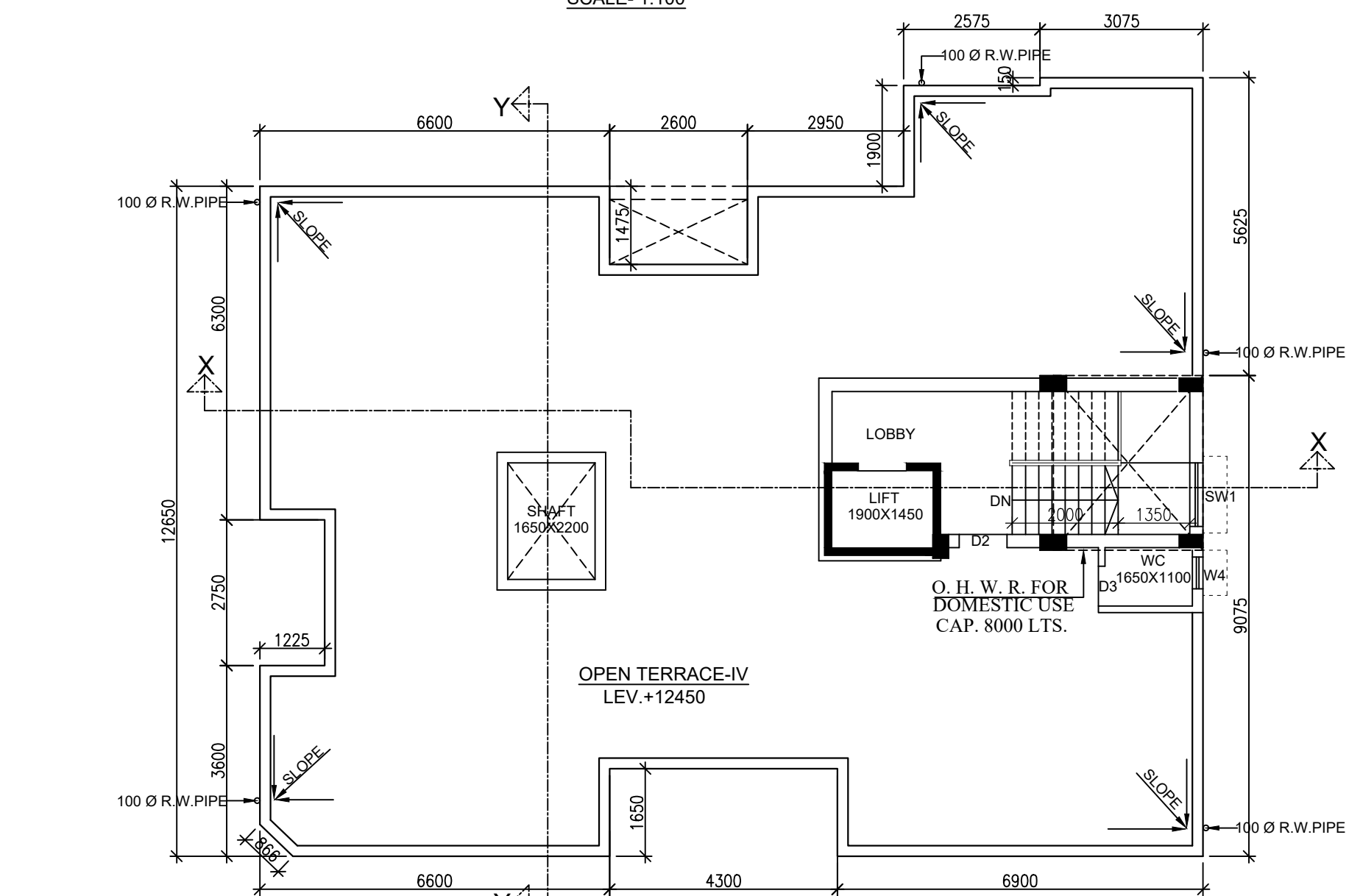
SECTION-XX
SCALE- 1:100

SECTION-YY
SCALE- 1:100

NOTE:-
LAND AREA= 413.973 SQ.M. (MORE OR LESS)
REQUIRED GREEN AREA= (898.298 X15%)413.973/6000= 9.296 SQM.
PERCENTAGE OF GREEN AREA=2.246 % (REQUIRED)
PROVIDED GREEN AREA= 9.661 SQM.
PERCENTAGE OF GREEN AREA= 2.333 % (PROVIDED)



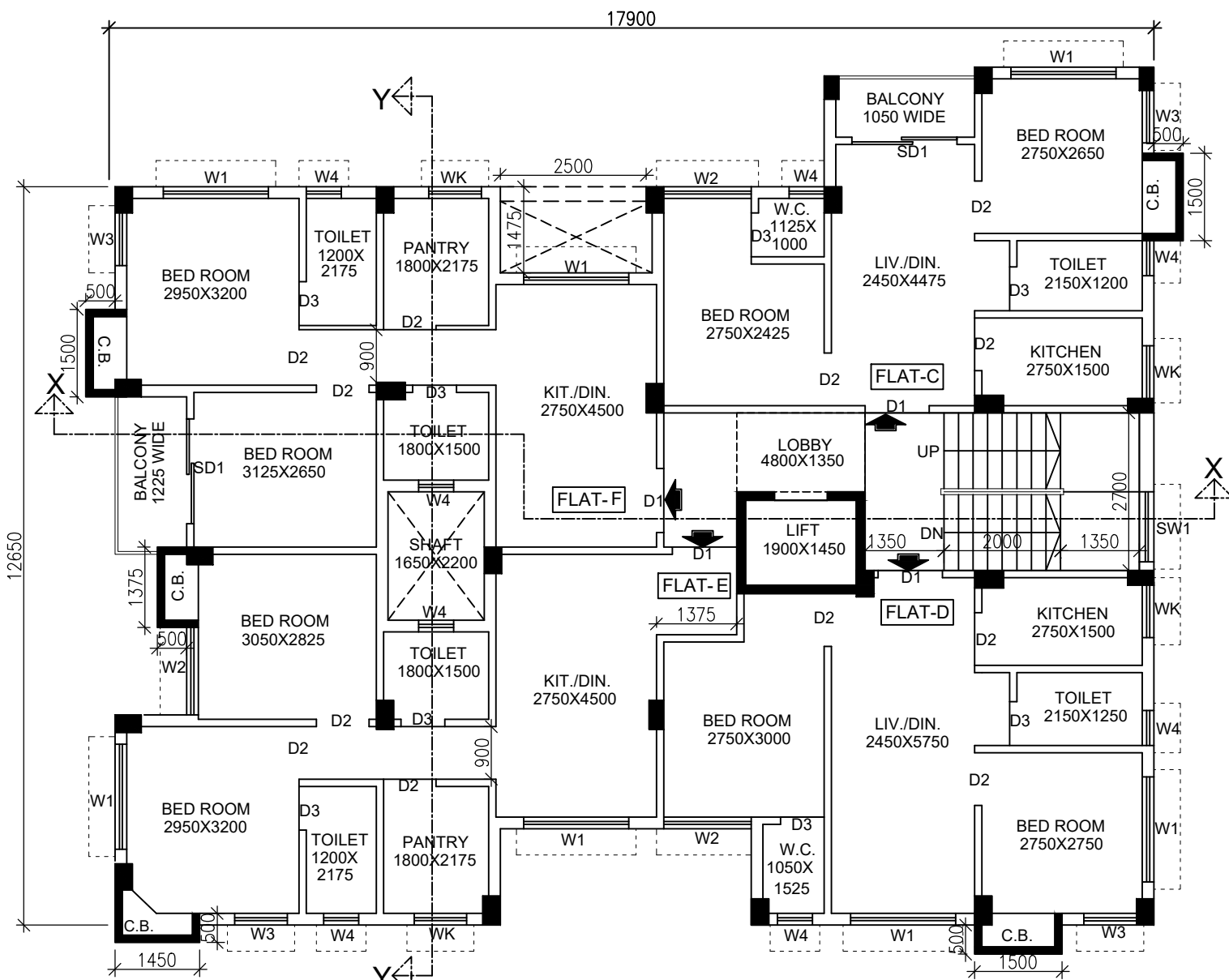
GROUND FLOOR PLAN
SCALE- 1:100



ROOF PLAN
SCALE- 1:100

MARKED	SILL HEIGHT	LINTEL HEIGHT	SIZE
SD1	----	2150	1800X2150
D1	----	2150	1100X2150
D2	----	2150	900X2150
D3	----	2150	750X2150
W1	900	2150	1800X1250
W2	900	2150	1500X1250
W3	900	2150	900X1250
WK	900	2150	900X1250
W4	1250	2150	600X900

FLOOR	TOILET	KITCHEN	W.C.
GROUND FL.	3	2	-
1ST. FLOOR	6	4	2
2ND. FLOOR	6	4	2
3RD. FLOOR	6	4	2
ROOF	-	-	1



TYPICAL FLOOR PLAN
(1ST TO 3RD FLOOR)
SCALE- 1:100

STATEMENT OF THE PLAN PROPOSAL			
PART-A:			
1. ASSESSE NO: 210980701323			
2. DETAIL OF DEED-1:			
BOOK NO : 1 VOL. NO : 1601-2018 PAGE NO : 95776 TO 95821 DATE -20.08.2018			
BEING NO : 160102736 YEAR : 2018 PLACE : D.S.R-I SOUTH 24-PARGANAS			
3. DETAIL OF DEED-2:			
BOOK NO : 1 VOL. NO : 160 PAGE NO : 170 TO 179 DATE -25.06.91			
BEING NO : 9621 YEAR : 91 PLACE : D.S.R-I SOUTH 24-PARGANAS			
4. DEED OF DECLARATION			
BOOK NO : IV VOL. NO : 1603-2025 PAGE NO : 1132 TO 1142 DATE -20.01.2025			
BEING NO : 160300063 YEAR : 2025 PLACE : D.S.R-III SOUTH 24-PARGANAS			
5. DETAIL OF REGISTERED BOUNDARY DECLARATION			
BOOK NO : 1 VOL. NO : 1602-2025 PAGE NO : 170007 TO 170022 DATE -03.04.2025			
BEING NO : 160204696 YEAR : 2025 PLACE : D.S.R-II SOUTH 24-PARGANAS			
6. DETAIL OF REGISTERED CORNER PLAYED			
BOOK NO : 1 VOL. NO : 1602-2025 PAGE NO : 170023 TO 170037 DATE -03.04.2025			
BEING NO : 160204697 YEAR : 2025 PLACE : D.S.R-II SOUTH 24-PARGANAS			
7. DETAIL OF REGISTERED NON EVICTION TENANT			
BOOK NO : 1 VOL. NO : 1602-2025 PAGE NO : 446248 TO 446259 DATE -22.07.2025			
BEING NO : 160210715 YEAR : 2025 PLACE : D.S.R-III SOUTH 24 PARGANAS			
PART-B:			
1. PROPOSED GROUND COVERAGE : 218.249 SQM.			
2. PROPOSED F.A.R. : 1.748			
3. TOTAL COVERED AREA : 861.424 SQM.			
4. TOTAL CAR PARKING AREA : 115.200 SQM. (ACTUAL)			
5. NO. OF REQUIRED CAR PARKING SPACE : 03 NOS.			
6. NO. OF PROVIDED CAR PARKING SPACE : 04 NOS.			
7. OPEN CAR PARKING- 1 NOS. AND COVERED CAR PARKING-03 NOS.			
STATEMENT OF AREA			
AREA OF LAND- 06K-03CH-01SQFT= 413.973 SQ.M. (MORE OR LESS)			
BOUNDARY DECLARATION & ASSESSMENT BOOK COPY)			
PERMISSIBLE F.A.R. = 1.75			
PERMISSIBLE GROUND COVERAGE (52.868%) = 218.859 SQM.			
PROPOSED GROUND COVERAGE (52.720%) = 218.249 SQM.			
PROPOSED HEIGHT = 12.450 MT.			
PROPOSED AREA :-			
MARK.	COVERED AREA	EFFECTIVE AREA	STAIRWAY
GROUND FL.	214.942 SQM	214.942 SQM	12.690 SQM
1ST FLOOR	218.249 SQM	218.249 SQM	12.690 SQM
2ND FLOOR	218.249 SQM	218.249 SQM	12.690 SQM
3RD FLOOR	218.249 SQM	218.249 SQM	12.690 SQM
TOTAL	869.889 SQM	861.424 SQM	50.760 SQM
TOTAL AREA = 798.784 SQM.			
BONUS FOR CAR PARKING = 115.200 SQM.			
NET AREA (798.784 -75) = 723.784 SQM.			
PROPOSED F.A.R. (723.784/413.973) = 1.748			
TENEMENTS & CAR PARKING CALCULATION :-			
MARKED	TENEMENT SIZE	PROPORTIONAL AREA TO BE ADDED	ACTUAL TENEMENT AREA
FLAT-A	33.396 SQ.M	4.458 SQ.M	37.854 SQ.M
FLAT-B	33.892 SQ.M	4.882 SQ.M	38.774 SQ.M
FLAT-C	44.189 SQ.M	6.364 SQ.M	50.553 SQ.M
FLAT-D	46.319 SQ.M	6.670 SQ.M	52.989 SQ.M
FLAT-E	51.862 SQ.M	7.468 SQ.M	59.333 SQ.M
FLAT-F	52.758 SQ.M	7.597 SQ.M	60.355 SQ.M
RESIDENTIAL AREA = 861.424 SQM.			
CAR PARKING PROVIDED = 03 NOS.			
PERMISSIBLE AREA FOR PARKING = (25X3)=75 SQM.			
COMMON AREA = 93.854 SQM.			
TOTAL ADDITIONAL FLOOR AREA FOR FEES = 36.874 SQM.			
STAIR HEAD ROOM AREA = 15.840 SQM.			
LIFT ROOM AREA = 7.935 SQM.			
OVER HEAD TANK AREA = 9.322 SQM.			
W.C. AT ROOF AREA = 2.418 SQM.			
AREA OF CUR. BOARD = 10.680 SQM.			
TOTAL AREA OF FEES = 898.298 SQM.			
OPEN TERRACE AREA = 218.249 SQM.			
CERTIFICATE OF STRUCTURAL ENGINEER			
THE STRUCTURAL DESIGN OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PERN.B.C OF INDIA ON THE BASIS OF SOIL INVESTIGATION REPORT DONE BY DR. SUJIT KUMAR BOSE G.T.E. K.M.C. NO.-112, BOSE ENGINEERS S3, PURNA CHANDRA MITRA LANE, KOLKATA-700033. CERTIFY THAT IS STRUCTURALLY SAFE AND STABLE IN ALL RESPECT.			
DR. SUJIT KUMAR BOSE G.T.E. /I/12			
(TAMAL KANTI BANDYOPADHYAY)			
NAME OF GEOTECHNICAL ENGINEER			
NAME OF STRUCTURAL ENGINEER			
DECLARATION OF ARCHITECT			
CERTIFIED THAT THE PLAN IT SELF WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES 2009, AS AMENDED FROM TIME TO TIME AND THE SITE CONDITION INCLUDING THE ADJUTING ROAD ARE CONFORM WITH THE PLAN. IT IS A BUILDABLE SITE NOT A TANK OR FILLED UP TANK. IT IS FULLY OCCUPIED BY THE OWNER & TENANT.			
ANJAN UKIL CA/94/16721			
NAME OF ARCHITECT			
DECLARATION OF OWNER			
I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT, I SHALL ENGAGE ARCHITECT & ESE DURING CONSTRUCTION. I SHALL FOLLOW THE INSTRUCTION OF ARCHITECT & ESE DURING CONSTRUCTION OF THE BUILDING (AS PER PLAN) K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURE IF ANY SUBMITTED DOCUMENT ARE FAKE. THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF U.G.W.R UNDER THE GUIDANCE OF ARCHITECT/ESE BEFORE STARTING OF BUILDING FOUNDATION.			
Tushar S.Kamder			
CA OF			
Sri Debasis Saha			
Sri Uttam Saha			
Sri Swapan Saha			
NAME OF OWNER			
GROUND FLOOR PLAN, FIRST TO THIRD FLOOR PLAN, ROOF PLAN, SECTION-XX & YY, FRONT ELEVATION, LEFT SIDE ELEVATION			
PROJECT			
PROPOSED G+III STORIED (HT.-12.450MT.) RESIDENTIAL BUILDING AT PREMISES NO.- 21C,PADDAPUKUR ROAD, KOLKATA-700 047, WARD NO.-98, BOROUGH NO.-X, P.S.- JADAVPUR UNDER K.M.C			
JOB NO.	DRG. NO.	DATE	DEALT
-	ARCH/CORP-01	12.08.25	TUMPA