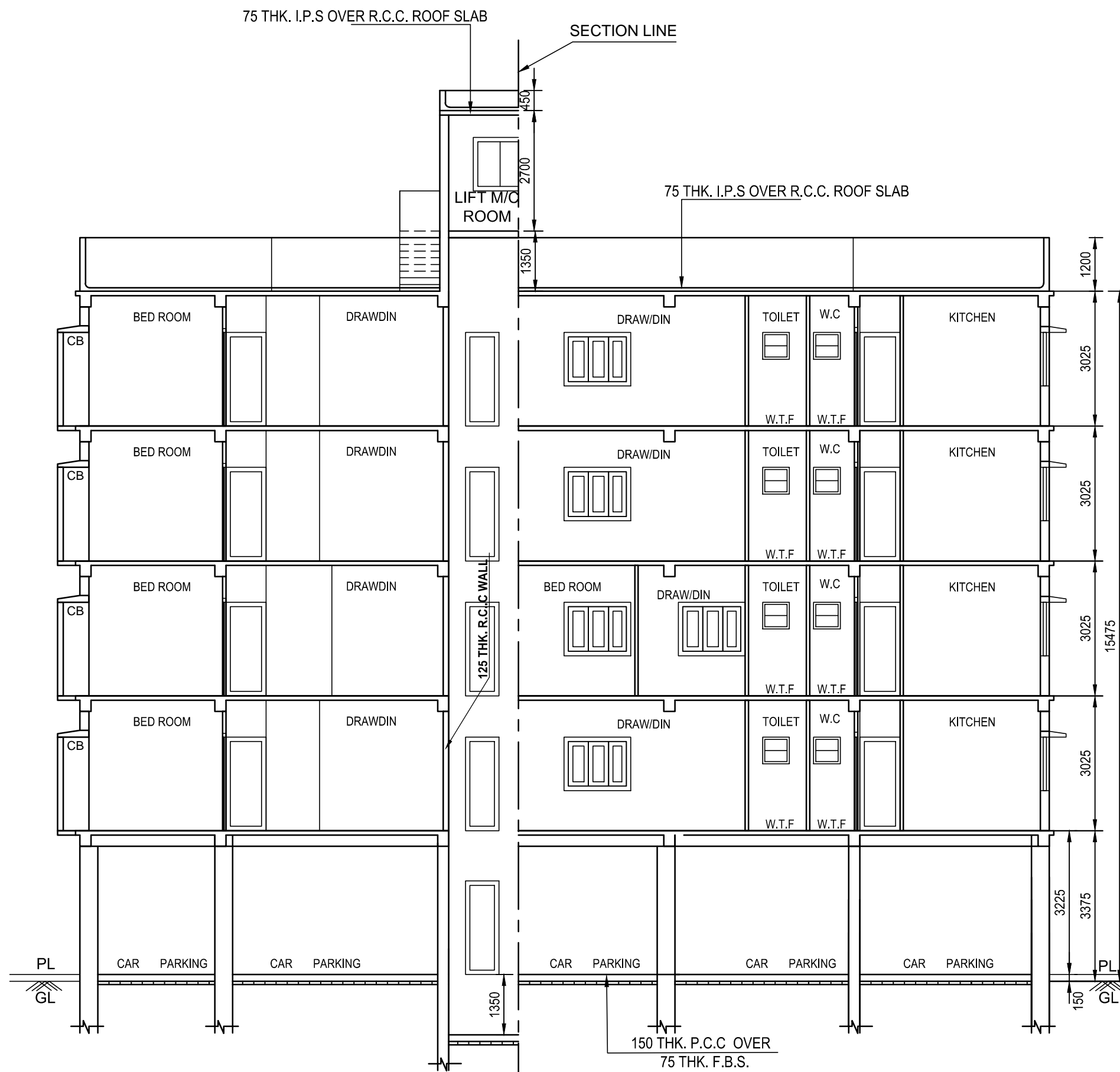
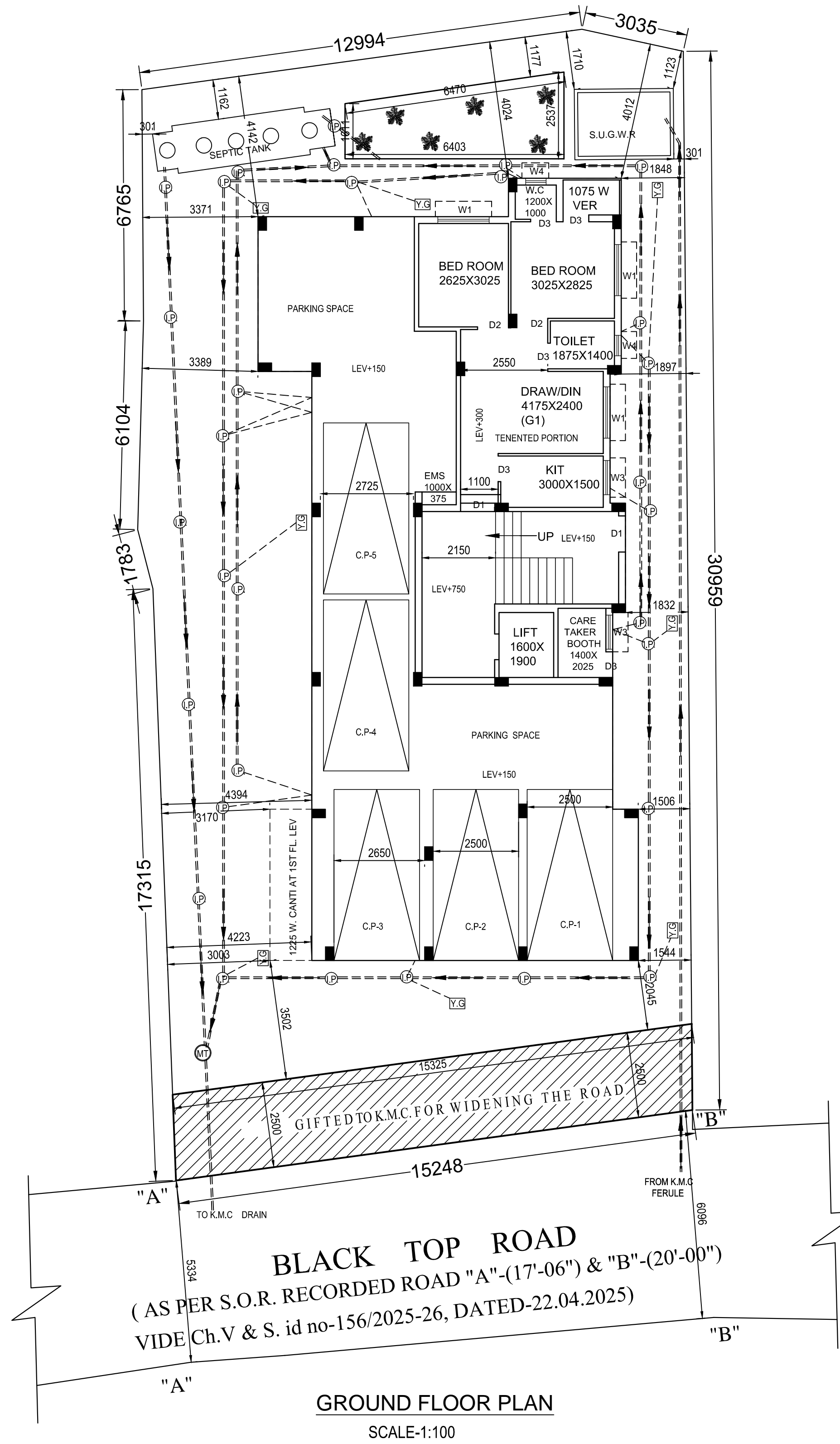


NORTH SIDE ELEVATION

SECTION AT - AA
SCALE:1:100

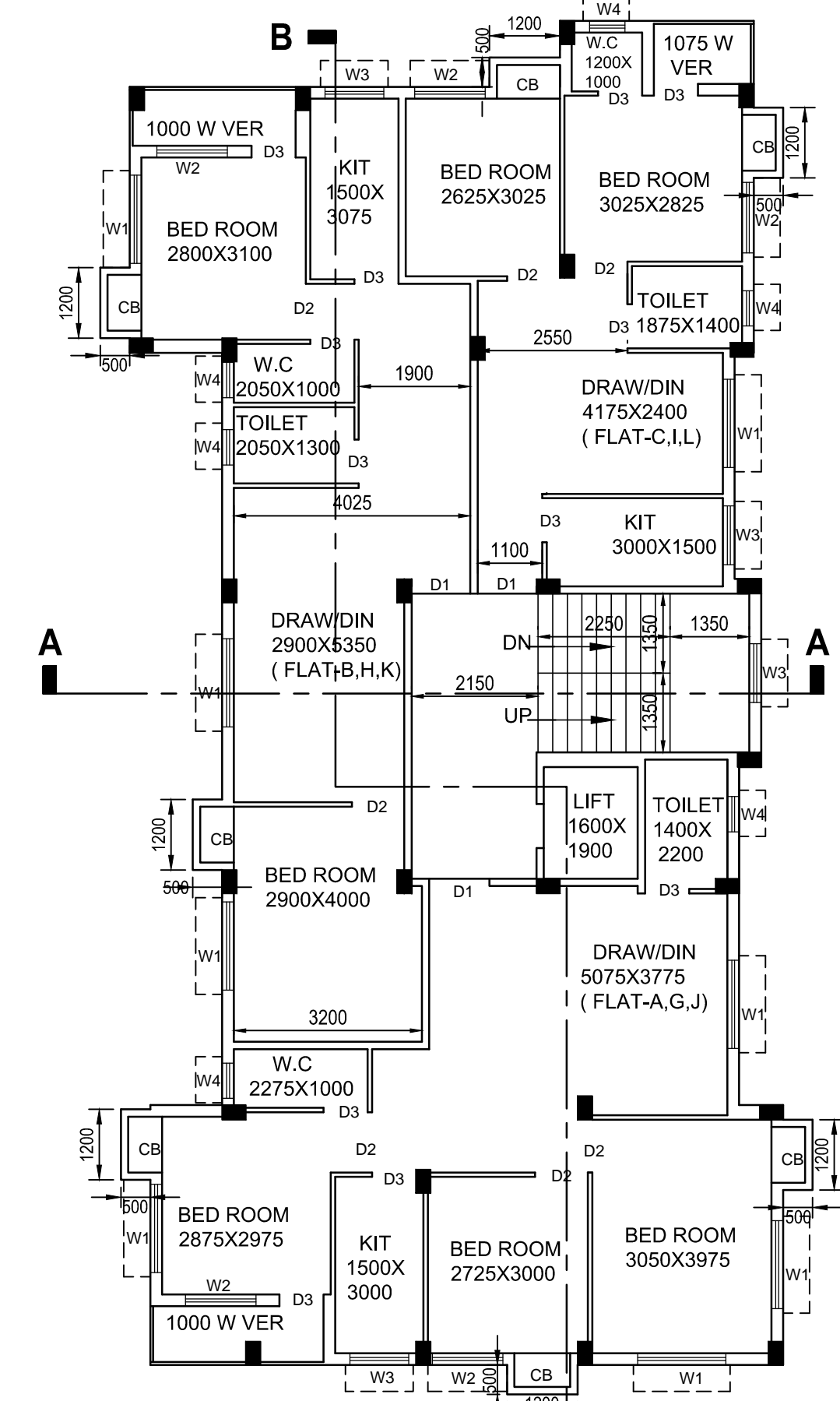


SECTION AT - BB
SCALE:1:100

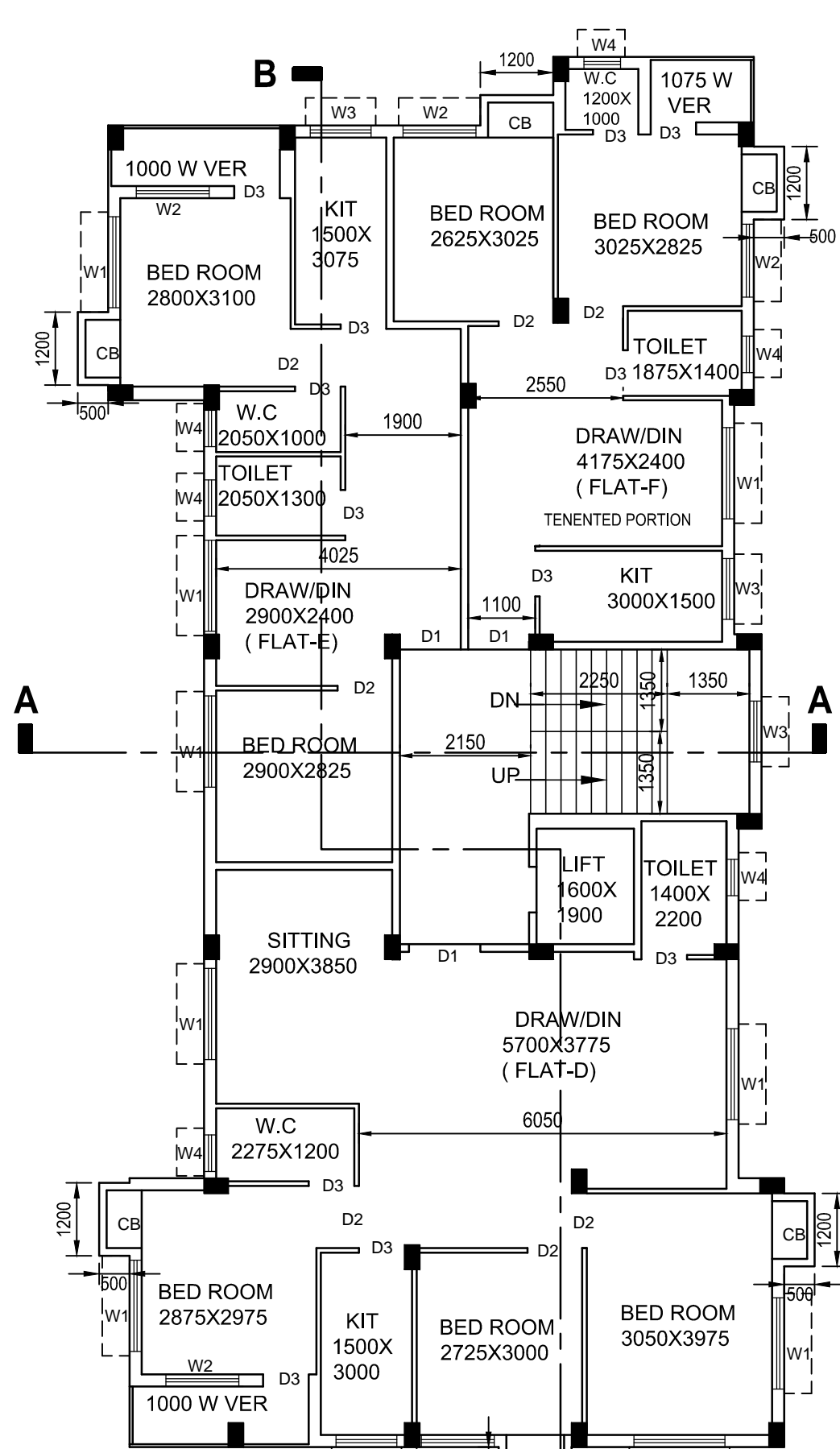


GROUND FLOOR PLAN
SCALE:1:100

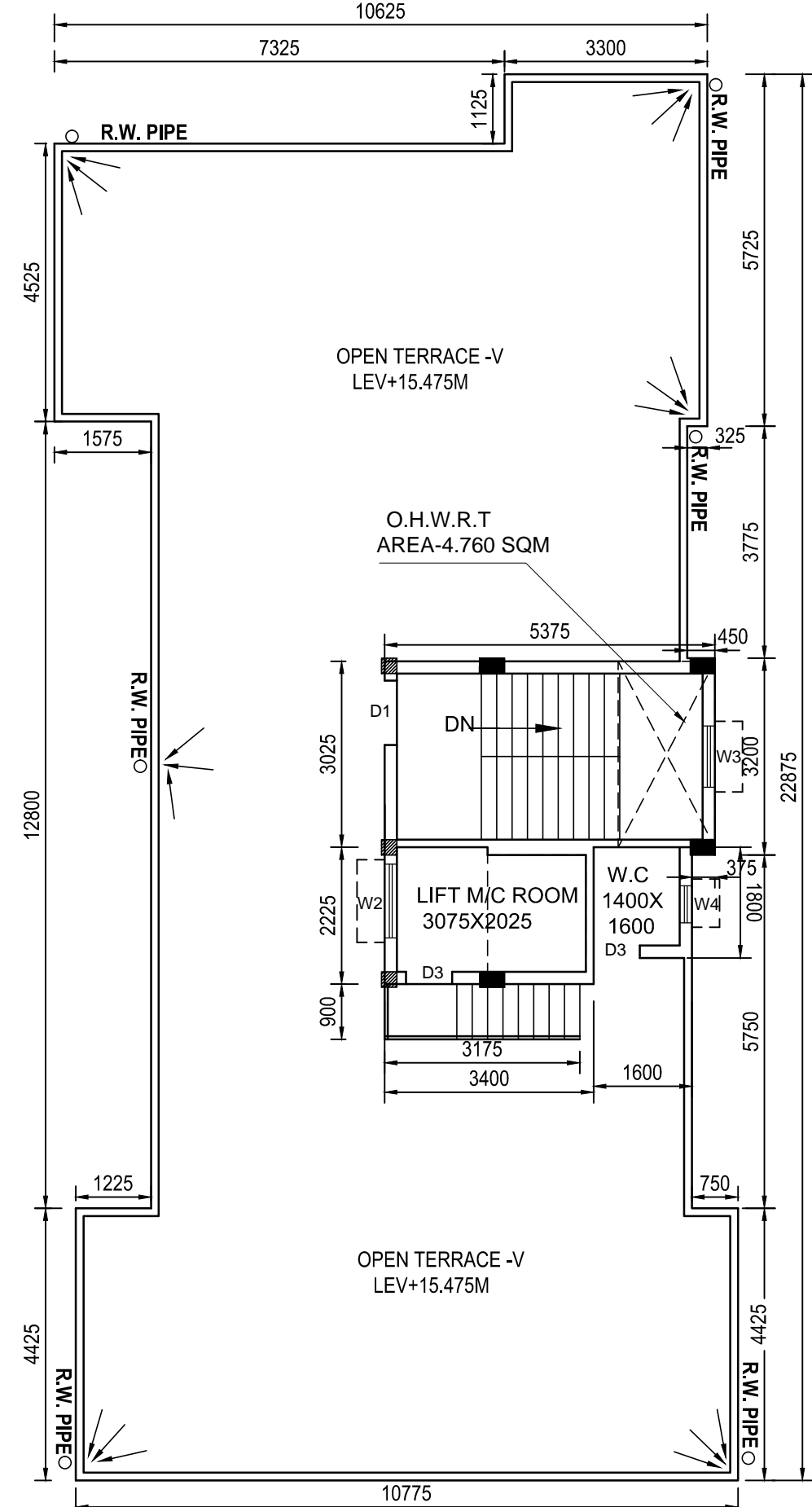
DOOR	SIZE	WIN. MKD.	SIZE
D1	1000x2100	W1	1500x1200
D2	900x2100	W2	1200x1200
D3	750x2100	W3	1000x1000
D4		W4	800x800



1ST,3RD & 4TH FLOOR PLAN
SCALE:1:100



2ND FLOOR PLAN
SCALE:1:100



ROOF PLAN
SCALE:1:100

- SPECIFICATIONS:**
- STRUCTURE:** RCC FRAME STRUCTURE ON RCC BORED PILES IN M25 GRADE REINFORCED CEMENT CONCRETE.
 - WALLS:** 250/200mm THICK EXTERNAL BRICK WALL IN 1:6 & 1:4 CEMENT MORTAR, 125mm THICK BRICK PARTITION WALL IN 1:4 & 75 THK. WALL IN (1:3) CEMENT MORTAR.
 - PLASTER:** 20mm THICK EXTERNAL PLASTER IN 1:6 CEMENT MORTAR, 15mm THICK INSIDE WALL PLASTER IN 1:4 CEMENT MORTAR AND 5mm THICK CEILING PLASTER IN 1:4 CEMENT MORTAR.
 - FLOORING:** VITRIFIED TILES IN FLOOR, 'KOTA' STONE SLAB IN STAIRCASE, NON-SKID CERAMIC TILES IN TOILETS.
 - ROOFING:** 35mm THICK CEMENT CONC. MIXED WITH WATER PROOFING COMPOUND TO ROOF OVER RCC SLAB.
 - PAINTING:** EPOXY BASED WEATHER PROOF PAINT OVER EPOXY BASED PRIMER TO EXTERNAL PLASTER SURFACE, ACRYLIC EMULSION PAINT TO INTERNAL PLASTER SURFACE, SYNTHETIC ENAMEL PAINT TO WOOD AND METAL SURFACE.
 - WINDOWS:** ALUMINIUM GLAZED WINDOWS WITH ANODIZED ALUMINIUM FRAME AND SHUTTERS, 4mm THICK GLASS HARDWARE FITTINGS ETC.
 - DOORS:** GLAZED ALUMINIUM DOOR TO MAIN ENTRY LOBBY, BEST VENEERED FLUSH DOOR AND DESIGNER LAMINATED PLY SHUTTERS WITH HARD WOOD FRAME TO ROOMS, SOUND CORE PVC DOOR SHUTTERS WITH PVC FRAME TO TOILET DOORS ETC.

SUPTA PRAKASH BANERJEE (LICENCE NO-1070 /I)
NAME OF L.B.S.

Certificate of E.S.E.:

THE STRUCTURAL DESIGN & DRAWING OF BOTH FOUNDATION & SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE N.B.C. OF INDIA OF LATEST REVISION AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECTS. SOIL TESTING HAS BEEN DONE BY G.T.E. KALLOL KUMAR GHOSHAL, OF TECHNIO SOIL, GORKHARA, ARUNACHAL, SONARPUR, KOLKATA-700150, WEST BENGAL, INDIA. THE RECOMMENDATIONS SOIL TEST REPORT HAS BEEN CONSIDERED DURING STRUCTURE CALCULATIONS. LOADS INCLUDING THE SEISMIC LOAD AS PER THE N.B.C. OF INDIA.

SUPTA PRAKASH BANERJEE (ESE-5541II)
NAME OF E.S.E.

DECLARATION OF GEOTECHNICAL CONSULTANT

UNDER SIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THERE ON IT IS CERTIFIED, THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HERE IN IS SAFE AND STABLE IN ALL RESPECT FROM GEO TECHNICAL POINT OF VIEW.

Size of Tenement (Sq.m.)	INDIVIDUAL AREA	PROPORTIONET SHARE OF COMMON AREA	TENEMENT AREA	Required Car Parking
FLOOR	FLAT MARKED			
GROUND	FLAT-G1	48.123	7.088	55.149
	FLAT-A	75.448	11.015	86.463
FIRST	FLAT-B	65.544	9.569	75.113
	FLAT-C	47.508	6.936	54.444
SECOND	FLAT-D	89.424	13.056	102.480
	FLAT-E	91.588	7.529	99.097
	FLAT-F	47.508	6.936	54.444
THIRD	FLAT-G	75.448	11.015	86.463
	FLAT-H	65.544	9.569	75.113
	FLAT-I	47.508	6.936	54.444
FOURTH	FLAT-J	75.448	11.015	86.463
	FLAT-K	65.544	9.569	75.113
	FLAT-L	47.508	6.936	54.444

KALLOL KUMAR GHOSHAL, LICENCE NO. GT-1449(K.M.C)
SIG. OF GEO TECHNICAL CONSULTANT

CHWD BY : S.P. BANERJEE
DRAWN BY : SUJOP MANDAL
DATE-24-06-2025

CONSTEY INDIA
280 RAJA S.C. MALLIK ROAD
JADAVPUR, KOLKATA -700032

PROPOSED G+IV STORIED RESIDENTIAL BUILDING PLAN AT PREMISES NO.-1, BAISHNABGHATA BYE LANE, IN WARD NO.-100, BOROUGH NO.-X,
COMPLYING K.M.C. BUILDING RULE 2009 UNDER SECTION 393A OF K.M.C. ACT-1980.

BOOK	VOL.	PAGES	BEING	DATE	OFFICE
1	1604-2023	380537-380563	160412644	09/10/2023	D.S.R.-IV 24 PGS(S)
3. (ii) DETAILS OF REGISTERED DEED-					
BOOK	VOL.	PAGES	BEING	DATE	OFFICE
1	1604-2023	337489-337564	160410745	05/09/2023	D.S.R.-IV 24 PGS(S)
3. (iii) DETAILS OF REGISTERED DEED-					
BOOK	VOL.	PAGES	BEING	DATE	OFFICE
1	1604-2023	337905-337939	160410746	05/09/2023	D.S.R.-IV 24 PGS(S)
3. (iv) DETAILS OF REGISTERED DEED-					
BOOK	VOL.	PAGES	BEING	DATE	OFFICE
1	1604-2023	337753-337778	160410747	05/09/2023	D.S.R.-IV 24 PGS(S)
3. (v) DETAILS OF REGISTERED DEED-					
BOOK	VOL.	PAGES	BEING	DATE	OFFICE
1	1604-2023	337940-337972	160410751	05/09/2023	D.S.R.-IV 24 PGS(S)
4. DETAILS OF BOUNDARY DECLARATION-					
BOOK	VOLUME	PAGES	BEING	DATE	OFFICE
1	1604-2025	76898-76909	160402811	28/03/2025	D.S.R.-IV 24 PGS(S)
5. DETAILS OF STRIP OF LAND DECLARATION-					
BOOK	VOLUME	PAGES	BEING	DATE	OFFICE
1	1604-2025	76884-76897	160402810	28/03/2025	D.S.R.-IV 24 PGS(S)
6. DETAILS OF NON EVICTION TENENT:-					
BOOK	VOLUME	PAGES	BEING	DATE	OFFICE
1	1604-2023	39800-39810	160401706	17/02/2025	D.S.R.-IV 24P(S),W.B.

P A R T - B

AREA OF LAND:-
As per Boundary Declaration - 07.0K 07.10 BFT= 498.420 SQ.M
As per deed - 07.0K 04.83 BFT= 484.764 SQ.M
Slop of Land Area= 82.211 SQ.M
Corner Survey Area=NI
Road Width= 5.33M
PERMISSIBLE GROUND COVERAGE (50.05%)= 243.829 SQ.M
PROPOSED GROUND COVERAGE = 143.349%+213.048 SQ.M.

S T A T E M E N T O F A R E A

TOTAL EXEMPTED AREA					
FLOOR	FL. AREA	STAIR EXE. WELL	LIFT LOBBY	LIFT PIT	NET FLOOR AREA
GR. FLOOR	207.627 SQ.M	13.365 SQ.M	2.903 SQ.M	NI	191.360 SQ.M
1ST FLOOR	213.048 SQ.M	13.365 SQ.M	2.903 SQ.M	3.040 SQ.M	193.741 SQ.M
2ND FLOOR	213.048 SQ.M	13.365 SQ.M	2.903 SQ.M	3.040 SQ.M	193.741 SQ.M
3RD FLOOR	213.048 SQ.M	13.365 SQ.M	2.903 SQ.M	3.040 SQ.M	193.741 SQ.M
4TH FLOOR	213.048 SQ.M	13.365 SQ.M	2.903 SQ.M	3.040 SQ.M	193.741 SQ.M
TOTAL	1059.821 SQ.M	66.825 SQ.M	14.513 SQ.M	12.160 SQ.M	966.324 SQ.M

GROSS TOTAL FLOOR AREA=1059.821 SQ.M (INCLUDING STAIR & STAIR LOBBY, LIFT & LIFT LOBBY)
ACTUAL TOTAL FLOOR AREA= 966.324 SQ.M.

TENEMENT SIZE:-

Size of Tenement (Sq.m.)		Required Car Parking			
FLOOR	FLAT MARKED	INDIVIDUAL AREA	PROPORTIONET SHARE OF COMMON AREA	TENEMENT AREA	PARKING CALCULATION (Multiple Tenement)
GROUND	FLAT-G1	48.123	7.088	55.149	TOTAL NO. OF FLAT =13 nos NO. OF CAR PARKING REQUIRED = 16 NO. CAR PARKING REQUIRED= 5 NOS
	FLAT-A	75.448	11.015	86.463	
FIRST	FLAT-B	65.544	9.569	75.113	
	FLAT-C	47.508	6.936	54.444	
SECOND	FLAT-D	89.424	13.056	102.480	
	FLAT-E	91.588	7.529	99.097	
	FLAT-F	47.508	6.936	54.444	
THIRD	FLAT-G	75.448	11.015	86.463	
	FLAT-H	65.544	9.569	75.113	
	FLAT-I	47.508	6.936	54.444	
FOURTH	FLAT-J	75.448	11.015	86.463	
	FLAT-K	65.544	9.569	75.113	
	FLAT-L	47.508	6.936	54.444	

CAR PARKING:-
REQUIRED=45 NOS. PROVIDED= 05 NOS
CAR PARKING AREA PROVIDED= 128.432 SQ.M
PROPOSED F.A.R. = 966.324/120.00=8.051, 324484.794=1.726=1.75
CUP BOARD AREA=16.200 SQ.M
AREA OF STAIR HEAD ROOM= 1.328 SQ.M
AREA OF STAIR HEAD ROOM= 1.328 SQ.M
LIFT MC ROOM AREA = 7.555 SQ.M
LIFT MC ROOM STAIR AREA = 3.857 SQ.M
AREA OF ROOF TANK = 4.761 SQ.M
AREA OF ROOF TANK = 4.761 SQ.M
AREA OF ROOF TOLLET = 2.895 SQ.M
TREE COVER AREA-
REQUIRED-(2.33%) =13.26 SQ.M. PROVIDE-(2.740%) =13.281 SQ.M.

Certificate of Owner:

I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT, I ENGAGE L.B.S & E.S.E. DURING CONSTRUCTION. I SHALL FOLLOW THE INSTRUCTIONS OF L.B.S & E.S.E. DURING CONSTRUCTION OF THE BUILDING (AS PER B.S. PLAN). K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR THE STRUCTURE STABILITY OF THE BUILDING AND ADJOINING STRUCTURES. IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE, THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF WATER RESERVOIR AND SEPTIC TANK WILL BE UNDERTAKEN BY THE GUIDANCE OF E.S.E. L.B.S BEFORE STARTING OF BUILDING FOUNDATION WORK. DURING DEPARTMENTAL INSPECTION OF THE SITE, THE PLOT IS IDENTIFIED BY ME. THERE IS TENENT & THERE IS NO COURT CASE PENDING AGAINST THIS PREMISES.

SRI AJAY KUMAR CHANDA
PROPRIETOR MIS CONCORD CONSTRUCTION
NAME OF OWNER/APPLICANT

BUILDING PERMIT NUMBER- 2025100060
SANCTION DATE - 03/07/2025
VALID UP TO - 02/07/2030

DIGITAL SIGNATURE OF A.E. DIGITAL SIGNATURE OF E.E