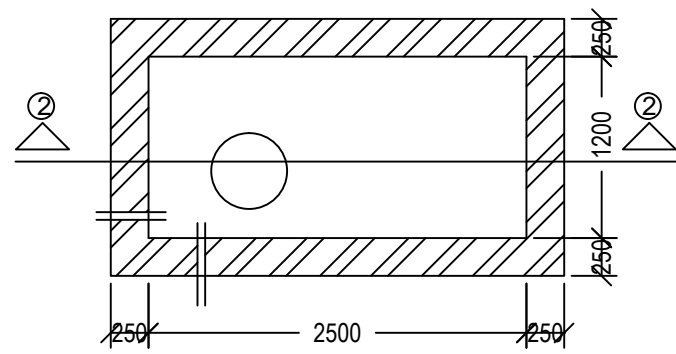
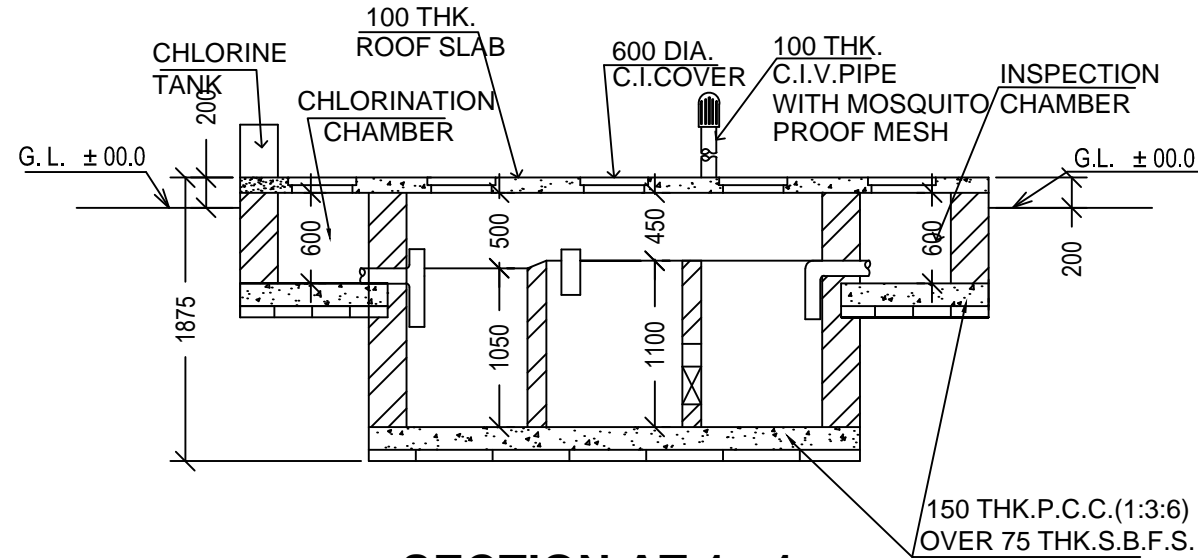


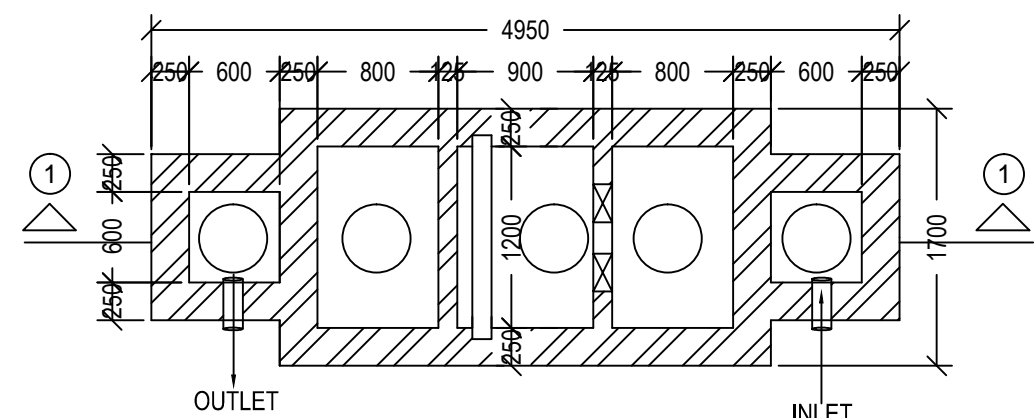
SECTION AT 2 - 2
SCALE : 1 : 50



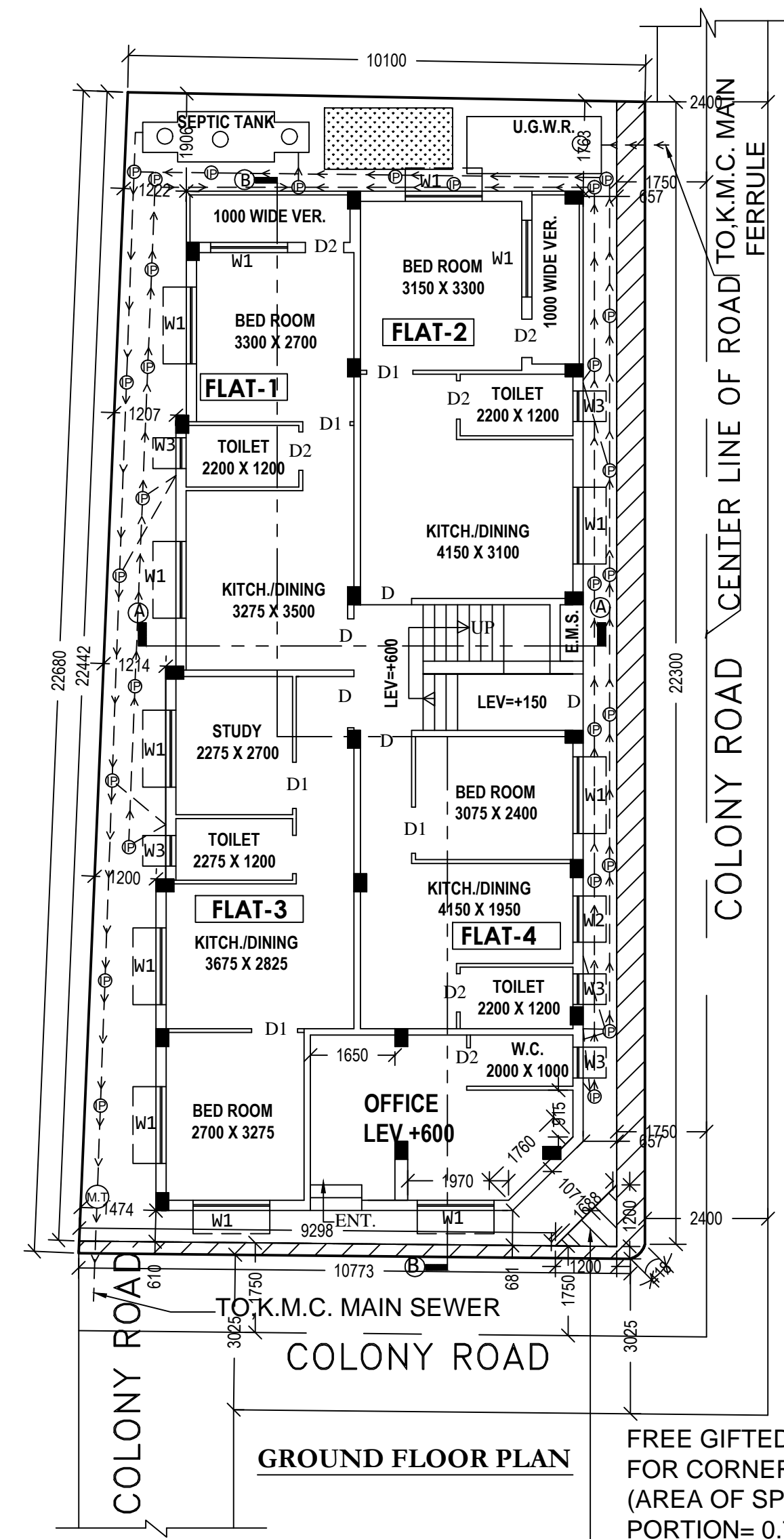
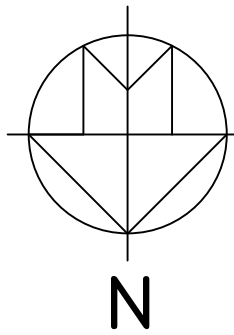
SEMI UNDER GROUND
WATER RESERVOIR
(CAPACITY : 600 GAL.) SCALE : 1 : 50



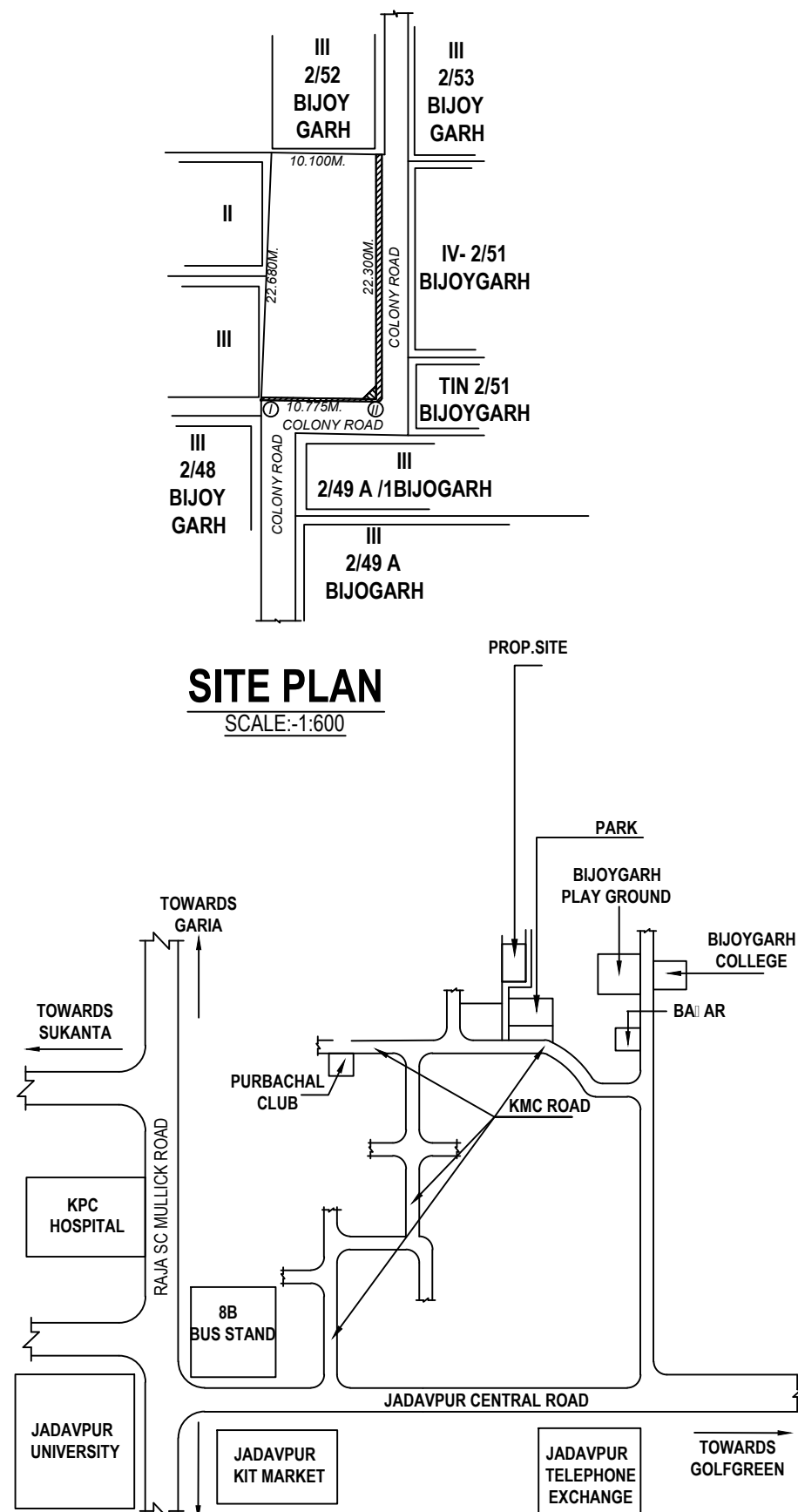
SECTION AT 1 - 1
SCALE : 1 : 50



DETAIL OF SEPTIC TANK
25 USERS (SCALE : 1 : 50)



FREE GIFTED TO K.M.C.
FOR CORNER SPLAY.
(AREA OF SPLAYED
PORTION= 0.72 SQM.)



KEY PLAN
SCALE: 1:4000

DOOR WINDOW SCHEDULE					
TYPE	WIDTH	HT.	TYPE	WIDTH	HT.
D1	1000	2150	W1	1500	1200
D2	900	2150	W2	1200	1200
D3	750	2150	W3	900	1200
			W4	600	600

SPECIFICATIONS
R.C.C. FRAME STRUCTURE WITH CONC. GRADE 1:1.5:3.
200 M.M. THK. EXTERNAL 125 & 75 M.M. THK. INTERNAL WALLS WITH
1:4 CEMENT MORTAR JOINTS.
STEEL Z- SECTION WINDOWS.
CAST-IN-SITU MARBLE FLOORING.
1:5 & 1:4 CEMENT PLASTER ON INTERNAL WALLS AND CEILING RESPECTIVELY.
WATER PROOFING TREATMENT.
P.O.P. PUNNING ON INTERNAL WALLS & CEILING.

STATEMENT OF THE PLAN PROPOSAL

- PART-A:**
- ASSESSEE NO : 210960338492**
 - DETAIL OF REGISTERED R.R. DEED .**
BOOK NO : I VOL. NO : V PAGE NO : 261 TO 264
BEING NO : 366 DATED : 24/08/1993 PLACE : A.D.S.R. ALIPURE SOUTH 24 PARGANAS
 - DETAIL OF REGISTERED BOUNDARY DECLARATION .**
BOOK NO : I VOL. NO : 1601-2025 PAGE NO : 23526 TO 23539
BEING NO : 160100619 DATED : 20/03/2025 PLACE : D.S.R.-I SOUTH 24 PARGANAS
 - DETAIL OF REGISTERED POWER OF ATTORNEY .**
BOOK NO : IV VOL. NO : 1601-2025 PAGE NO : 1061 TO 1080
BEING NO : 160100056 DATED : 20/03/2025 PLACE : D.S.R.-I SOUTH 24 PARGANAS
 - DETAIL OF REGISTERED DEED OF GIFT (STRIP OF LAND).**
BOOK NO : I VOL. NO : 1601-2025 PAGE NO : 23509 TO 23525
BEING NO : 160100623 DATED : 20/03/2025 PLACE : D.S.R.-I SOUTH 24 PARGANAS
 - DETAIL OF REGISTERED DEED OF GIFT (CORNER SPLAYED).**
BOOK NO : I VOL. NO : 1601-2025 PAGE NO : 26708 TO 26722
BEING NO : 160100691 DATED : 07/04/2025 PLACE : D.S.R.-I SOUTH 24 PARGANAS

7. a) AREA OF LAND (Physical) : 3K-09 CH-11.288 SFT = 239.343 SQM
b) NO OF STOREY : III
8. a) NO. OF TENEMENTS : 12 NOS.
9. SIZE OF TENEMENTS : a) UNDER 50.0 Sqm 12 NOS

- PART-B:**
1. AREA OF LAND AS PER TITLE DEED = 3K-11 CH-00 SFT = 246.655 SQM
2. AS PER BOUNDARY DECLARATION = 3K-09 CH-11.288 SFT = 239.343 SQM
3. NET LAND AREA = 239.343 SQM
4. (i) PERMISSIBLE GROUND COVERAGE = 58.688 % = 140.465 SQM
(ii) PROPOSED GROUND COVERAGE = 66.821 % = 159.933 SQM
5. PROPOSED HEIGHT = 9.675 MT.

	GROSS COVERED AREA	CUT OUT	EXEMPTED AREA	NET FLOOR AREA
GROUND FLOOR	159.759 SQM	STAIR DUCT	STAIR-STAR LOBBY	148.893 SQM
1ST FLOOR	159.759 SQM	0.394 SQM	0.000 SQM	148.265 SQM
2ND FLOOR	159.759 SQM	0.394 SQM	0.000 SQM	148.265 SQM
TOTAL	479.277 SQM	0.788 SQM	0.000 SQM	446.463 SQM

7. TENEMENTS & CAR PARKING CALCULATION :-				
(A) RESIDENTIAL:-				
MARKED TENEMENT SIZE	PROPORTIONAL AREA TO BE ADDED	ACTUAL TENEMENT AREA	NO. OF TENEMENT	REQUIRED CAR PARKING
1 32.366 SQ.M	2.440 SQ.M	34.806 SQ.M	3	2 NOS
2 35.630 SQ.M	2.687 SQ.M	38.317 SQ.M	3	
3 43.884 SQ.M	3.294 SQ.M	46.878 SQ.M	2	
4 37.114 SQ.M	2.793 SQ.M	39.915 SQ.M	2	
5 36.958 SQ.M	2.787 SQ.M	39.745 SQ.M	2	
6 25.979 SQ.M	1.956 SQ.M	27.935 SQ.M	1	

- (C) BUSINESS :-
(i) A.C. OFFICE COVERED AREA = 17.680 SQM.
(ii) A.C. OFFICE CARPET AREA = 15.240 SQM. REQUIRED CAR PARKING = NIL
- (C) PARKING:-
(i) TOTAL REQUIRED CAR PARKING :- 2 NOS
(ii) TOTAL PROVIDED CAR PARKING :- NIL
(iii) PERMISSIBLE AREA FOR PARKING = 50 SQ.M.
(iv) PROVIDED AREA OF PARKING = NIL

9. F.A.R.:-
(i) PROPOSED F.A.R = (448.463 / 239.343) = 1.875
10. MISC AREA:-
(i) STAIR HEAD ROOM AREA :- 13.324 SQ.M.
(ii) TERRACE AREA :- 159.759 SQ.M.
(iii) RELAXATION OF AUTHORITY, IF ANY :- N.A.
(iv) OVER HEAD TANK AREA :- 4.418 SQ.M.
(v) AREA OF CUP-BOARD :- NIL
(vi) AREA OF TREE COVER PERMISSIBLE :- 2.870 SQM.
(vii) AREA OF TREE COVER PROPOSED :- 3.000 SQM.
(k) TOTAL AREA FOR FEES :- 466.205 SQM

CERTIFICATE

Premises No : 74 / 2/77, SRI RAM THAKUR ROAD(FORMERLY J.C. ROAD)
Assessee No : 210960338492
Name of the Owner (s) / Applicant (s) : RAJIB DEBNATH,
PROP.OF M/S. R.D. CONSTRUCTION
AND C.A. OF

- 1)SUSMITA CHAKRABORTY
2)SUDIPTA SARKAR
3)SREE SARKAR
4)SUMITA DAS
5)SUCHARITA DUTTA
6)SUMAN SARKAR

Area of Land : 239.343 Sq mt.
Name of L.B.S. : AVIJIT DAS
Permissible height in reference to CCZM issued by AAI : 33.0 M.

Co-Ordinate in WGS 84 and site elevation (AMS) :		Co-ordinate in WGS 84		Site Elevation (AMSL)
Reference points marked in The site plan of the proposal		Latitude	Longitude	
I		22.498988	88.36560	2.7 M.
II		22.489742	88.365806	2.7 M.

That above information is true and correct in all respect and if at any stage, it is found otherwise, then I shall be fully liable for which KMC and other appropriate authority reserve the right to take appropriate action against me as per law.

SAKTI BRATA BHATTACHARYYA
E.S.E- NO-116/I (K.M.C.)

NAME OF STRUCTURAL ENGINEER

DECLARATION OF L.B.S.

CERTIFIED THAT THE PLAN ITSELF WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES 2009, AS AMENDED FROM TIME TO TIME AND THE SITE CONDITION INCLUDING THE ABUTTING ROAD IS CONFORM WITH THE PLAN. IT IS A BUILD ABLE SITE NOT A TANK OR FILLED UP TANK.

AVIJIT DAS
L.B.S. NO- 1765/I (K.M.C.)
NAME OF L.B.S.

DECLARATION OF OWNER

WE DO HERE BY DECLARE WITH FULL RESPONSIBILITY THAT, WE SHALL ENGAGE L.B.S & E.S.E DURING CONSTRUCTION. WE SHALL FOLLOW THE INSTRUCTION OF L.B.S & E.S.E DURING CONSTRUCTION OF THE BUILDING (AS PER PLAN) K.M.C AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURE, IF ANY SUBMITTED DOCUMENT ARE FAKE THE K.M.C AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF S.U.G.W.R & SEPTIC TANK TAKEN UNDER THE GUIDANCE OF L.B.S/E.S.E BEFORE STARTING OF BUILDING FOUNDATION.
THE PLOT IS IDENTIFIED BY ME. THE PLOT IS FULLY DEMARCATED BY BOUNDARY WALL. THERE IS NO TENANT. THERE IS NO COURT CASE PENDING AGAINST THIS PLOT.

RAJIB DEBNATH,
PROP.OF M/S. R.D. CONSTRUCTION
AND C.A. OF

- 1)SUSMITA CHAKRABORTY
2)SUDIPTA SARKAR
3)SREE SARKAR
4)SUMITA DAS
5)SUCHARITA DUTTA
6)SUMAN SARKAR

NAME OF OWNERS / APPLICANTS

BUILDING PERMIT NUMBER : 2025100036

DATED : 05/06/2025

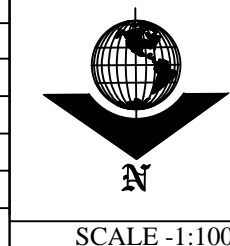
VALID UPTO : 05/06/2030

ASSISTANT ENGINEER (C)/BLDG/BR -X , K.M.C.

GROUND FLOOR PLAN, FIRST TO 4TH. FLOOR PLAN, ROOF PLAN, FRONT ELEVATION, SECTION THROUGH A-A', SECTION THROUGH B-B'

PROJECT.
PROPOSED III STORIED (HT.-9.675MT.) RESIDENTIAL BUILDING U/S 393 A OF K.M.C. ACT 1980 & UNDER BUILDING RULE 2009, AT PREMISES NO - 74/2/77, SRI RAMTHAKUR ROAD,(FORMERLY J.C. ROAD) WARD NO- 096, BOROUGH - X, UNDER K.M.C. P.S.-JADAVPUR, KOLKATA - 700032.

APPROVED BY M.I.C.(BLDG.)			
JOB NO.	DRG. NO.	DATE	DEALT
1/2	ARCH/CORP-A-DWG	11.03.2025	SUMAN



SCALE -1:100