



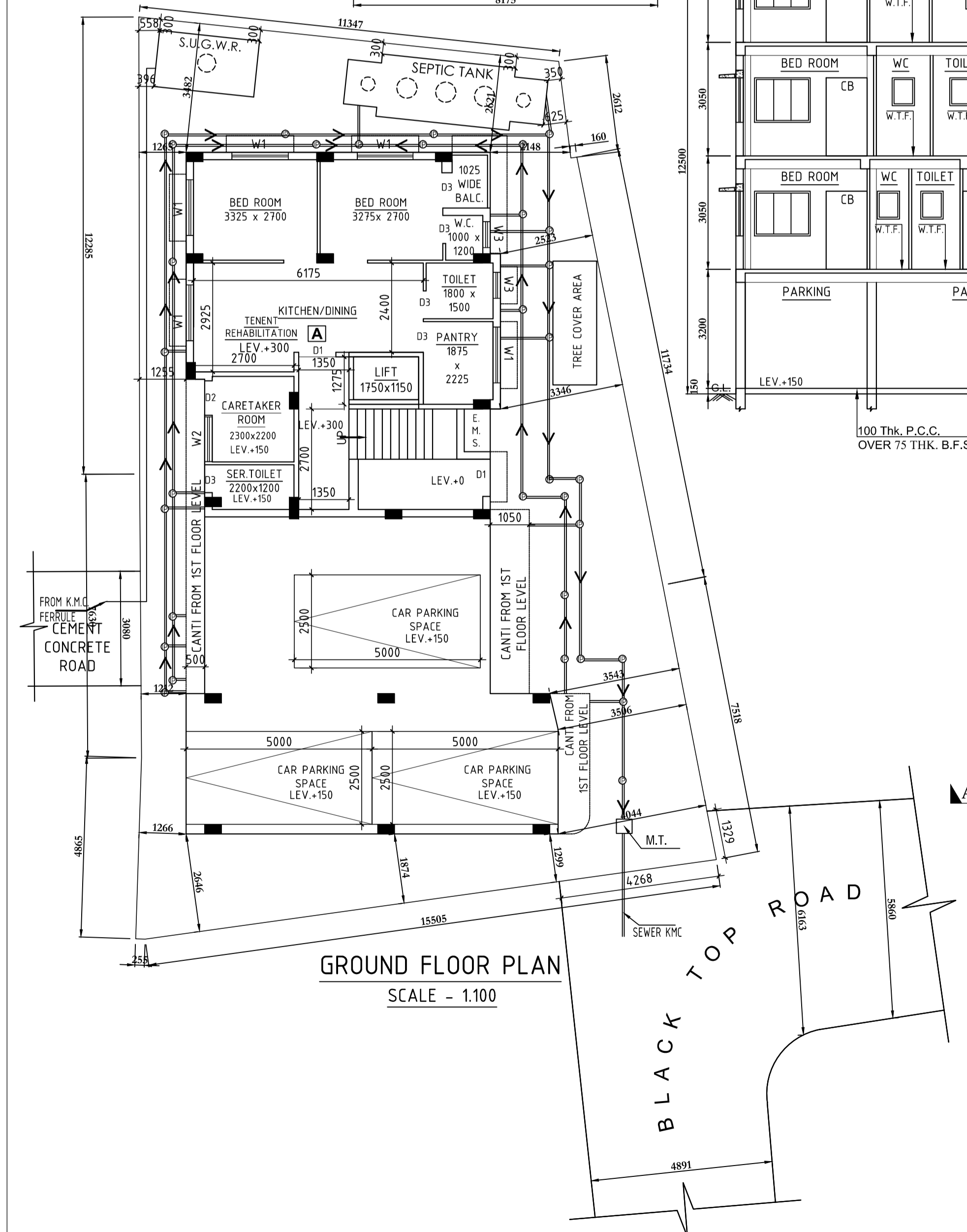
FRONT ELEVATION  
SCALE - 1:100

SIDE (WEST) ELEVATION  
SCALE - 1:100

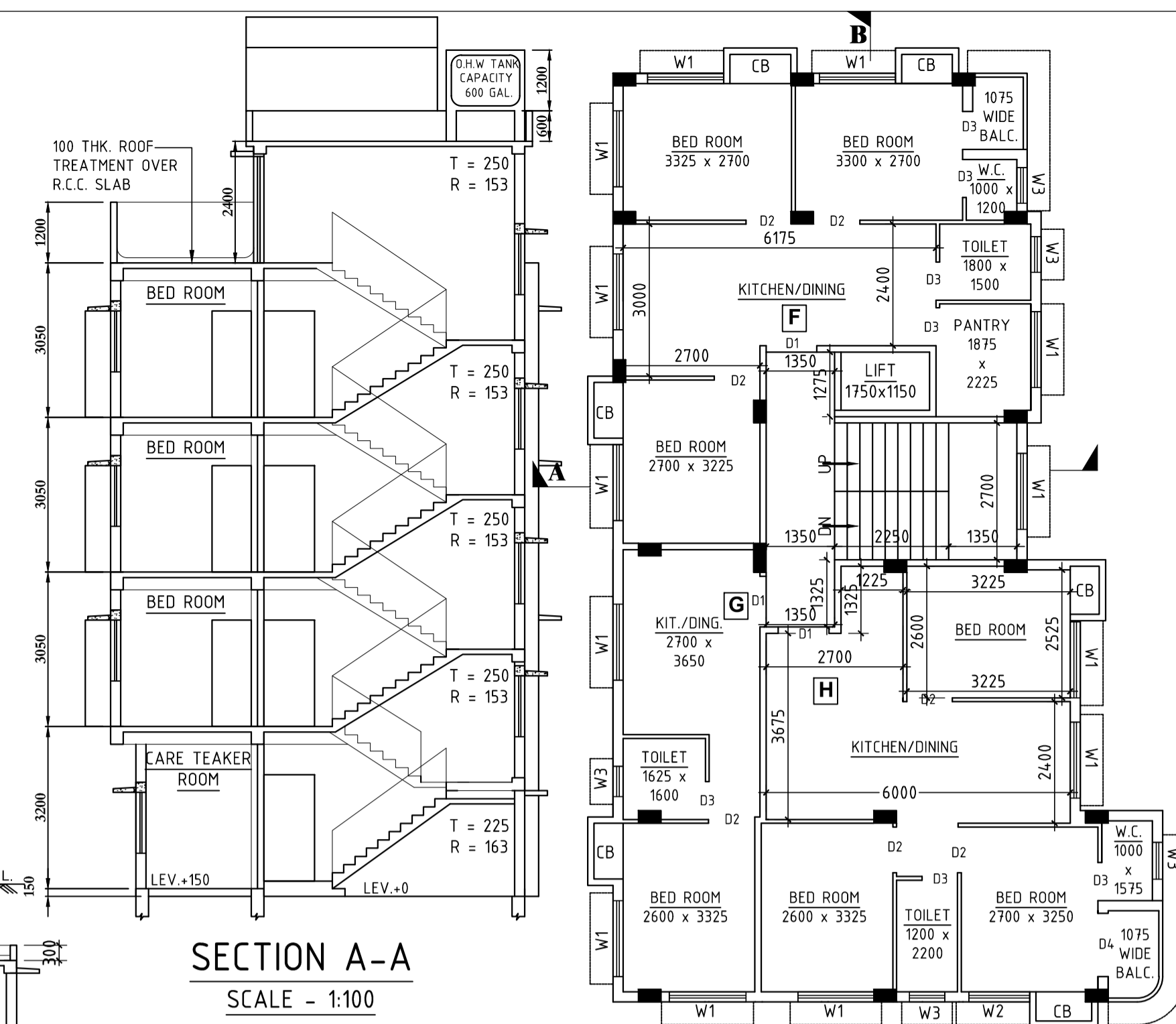
NAME OF THE TENANT	EXISTING AREA (SQ.M.) (RESIDENTIAL USE)	PROPOSED AREA (SQ.M.) (RESIDENTIAL USE)
MOUMITA SAHA	37.160 SQ.M.	58.576 SQ.M.

AVERAGE BACK AS PER AMENDMENT VIDE NOTIFICATION NO. -  
480/MA/0/C-4/3R-13/2012 DATED 21/10/2014.

WIDTH OF THE BUILDING = 8.175 M.  
REAR OPEN SPACE = 25.081 SQ.M. = 3.068 M.  
8.175 M.



GROUND FLOOR PLAN  
SCALE - 1:100



SECTION A-A  
SCALE - 1:100

3RD FLOOR PLAN  
SCALE - 1:100

**Certificate**

Premises No: 250, VIVEKANANDA PARK  
Assessee No: 31-111-28-0250-6  
Name of the Owner(s)/ Applicant (s): SIMANTA SAHA SOLE PROPRIETOR OF "M/S. MA MONOSA CONSTRUCTION" AS CONSTITUTED ATTORNEY OF SRI DIBYENDU CHAKRABORTY  
Area of Land:  
AS PER DEED = 292.642 SQ.M.  
AS PER MEASUREMENT = 310.506 SQ.M.  
Name of L.B.S.: ANIK MAJUMDAR  
Permissible height in reference to OCZM issued by AAI: 33 M.

No: LBS/I/1579

Co-ordinate in WGS 84 and Site elevation (AMSL):  
Reference points marked in the site plan of the proposal

	Latitude	Longitude	Site Elevation (AMSL) M.
A, B	22.2747"	88.2208"	5.00 M.

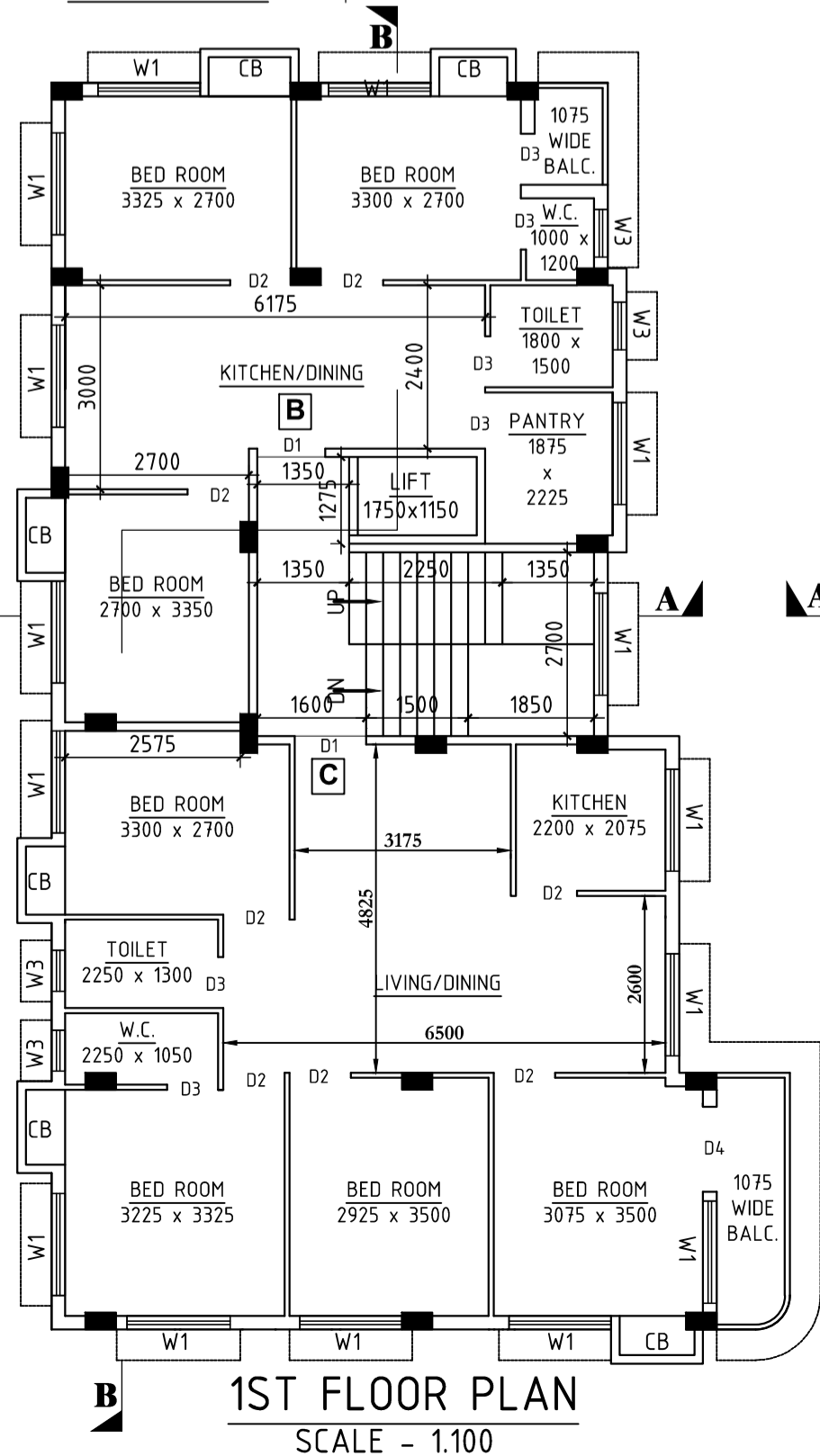
The above information is true and correct in all respect and if at any stage, it is found otherwise, then I shall be fully liable for which KMC and other appropriate authority reserve the right to take appropriate action against me as per Law.

Name of the Applicant: SIMANTA SAHA  
SOLE PROPRIETOR OF "M/S. MA MONOSA CONSTRUCTION" AS CONSTITUTED ATTORNEY OF SRI DIBYENDU CHAKRABORTY

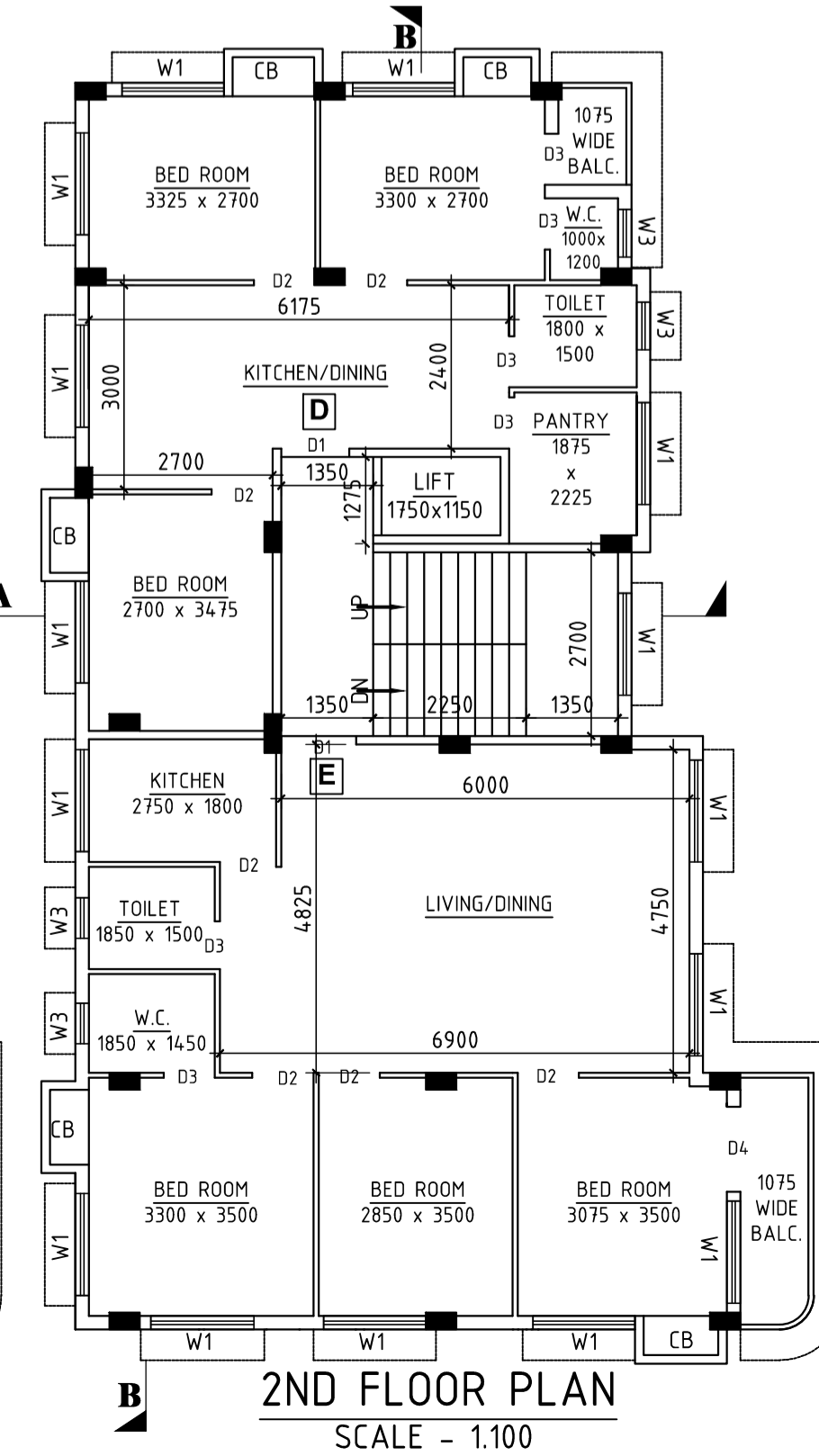
Name of L.B.S.: ANIK MAJUMDAR  
LBS/I/1579

DOOR SCHEDULE			WINDOW SCHEDULE		
TYPE	SIZE (BxH)	REMARKS	TYPE	SIZE (HxW)	REMARKS
D1	1000mm X 2100mm (H)	FLASH	W1	1500mm X 1200mm (H)	STEEL FULLY GLAZED
D2	900mm X 2100mm (H)	FLASH	W2	1000mm X 1200mm (H)	-DO-
D3	750mm X 2100mm (H)	FLASH	W3	600mm X 750mm (H)	-DO-
D4	1250mm X 2100mm (H)	FLASH			

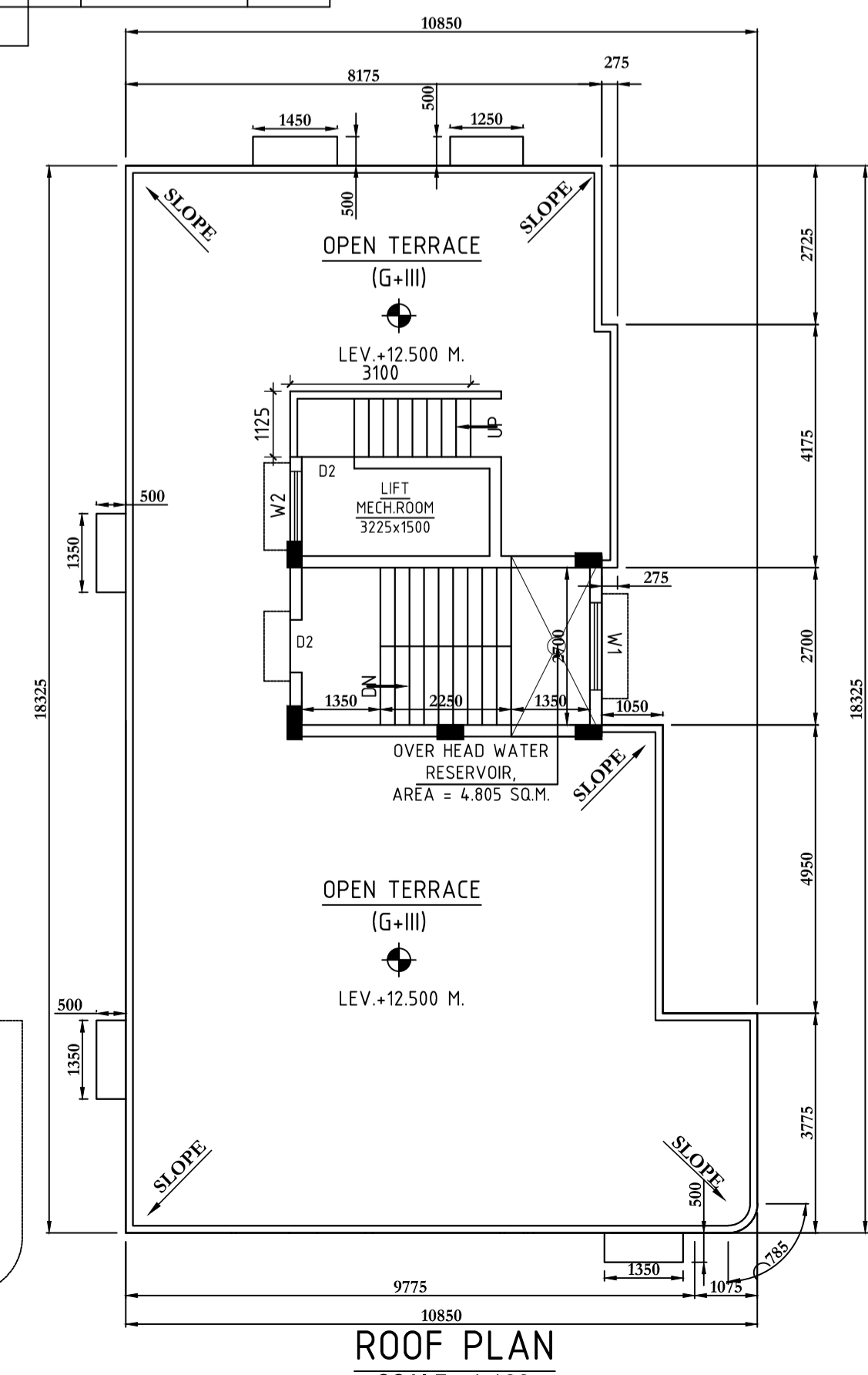
SECTION B-B  
SCALE - 1:100



1ST FLOOR PLAN  
SCALE - 1:100



2ND FLOOR PLAN  
SCALE - 1:100



ROOF PLAN  
SCALE - 1:100

CERTIFICATE FROM GEO-TECH ENGINEER.

UNDERSIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREON. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HEREIN IS SAFE & STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

NAME OF G.T.E.  
JAYANTA MAJUMDAR  
G.T.E. / I / 13

CERTIFICATE FROM E.S.E. :-

THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT.

NAME OF E.S.E.  
AMAL KUMAR CHAKRABORTY  
E.S.E. - 429 (II)

CERTIFICATE FROM L.B.S. :-

CERTIFIED THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES 2009, AS AMENDED TIME TO TIME AND THAT THE SITE CONDITION INCLUDING ABOUTING 4.891 M. SOUTH SIDE (BLACK TOP ROAD) & 5.860 M(MIN) EAST SIDE (BLACK TOP ROAD) & 3.080 M. WEST SIDE (CEMENT CONCRETE ROAD) OF THE PREMISES CONFORM WITH THE PLAN WHICH HAS BEEN MEASURED & VERIFIED BY ME. IT IS A BUILDABLE SITE NOT A TANK OR FILLED UP TANK. THE LAND IS DEMARKED BY BOUNDARY WALL. THE CONSTRUCTION OF S.U.G.W.R. & SEPTIC TANK WILL BE COMPLETED UNDER GUIDANCE OF L.B.S. & E.S.E.

NAME OF L.B.S.  
ANIK MAJUMDAR  
L.B.S. - 1579 (I)

OWNER'S DECLARATION. :-

WE DO HEREBY UNDERTAKE WITH FULL RESPONSIBILITY THAT-  
1. WE SHALL ENGAGE L.B.S. & E.S.E. DURING CONSTRUCTION.  
2. WE SHALL FOLLOW THE INSTRUCTION OF L.B.S. & E.S.E. DURING CONSTRUCTION OF THE BUILDING (AS PER PLAN)  
3. K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURE.  
4. IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE, THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN.  
5. THE CONSTRUCTION OF WATER RESERVOIR & SEPTIC TANK WILL BE UNDER THE GUIDANCE OF L.B.S. / E.S.E.  
6. DURING SITE INSPECTION I WAS PHYSICALLY PRESENT AND PROPERLY IDENTIFIED THE SITE.

NAME OF OWNERS  
SIMANTA SAHA  
SOLE PROPRIETOR OF "M/S. MA MONOSA CONSTRUCTION" AS CONSTITUTED ATTORNEY OF SRI DIBYENDU CHAKRABORTY

BUILDING PERMIT NO :- 2024110005

SANCTION DATE :- 05.04.2024

VALID UPTO :- 04.04.2029

DIGITAL SIGNATURE OF A.E.

STATEMENT OF THE PLAN PROPOSAL

1. ASSESSEE NO.	31-111-28-0250-6
2. DETAILS OF REGISTERED DEED 1	BOOK = I, VOLUME = 88, BEING = 3813, PAGE = 259 TO 268, YEAR = 1980, D.S.R. - SOUTH 24 Pgs(S). ALIPORE, DATED = 04.07.1980.
3. DETAILS OF REGISTERED DEED 2	BOOK = I, VOLUME = 147, BEING = 8145, PAGE = 184 TO 188, YEAR = 1966, D.S.R. 24 Pgs(S). ALIPORE, DATED = 12.10.1966.
4. DETAILS OF REGISTERED DEED 3	BOOK = I, VOLUME = 1602-2021, BEING = 160206170, PAGE = 257996 TO 258031, YEAR = 2021, D.S.R. - II SOUTH 24 PARAGANAS, DATED = 18.08.2021.
5. DETAILS OF GENERAL POWER OF ATTORNEY	BOOK = I, VOLUME = 1602-2022, PAGE = 522168 TO 522184, BEING = 160214158, YEAR = 2022, D.S.R. - II SOUTH 24 PARAGANAS, DATED = 14.11.2022.
6. DETAILS OF BOUNDARY DECLARATION	BOOK - I, VOLUME = 1602-2023, PAGE = 624087 TO 624100, BEING = 160217328 YEAR = 2023, D.S.R. - II SOUTH 24 PARAGANA, DATED = 08.12.2023.
7. DETAILS OF TENANT DECLARATION	BOOK - I, VOLUME = 1602-2023, PAGE = 624175 TO 624185, BEING = 160217329 YEAR = 2023, D.S.R. - II SOUTH 24 PARAGANA, DATED = 08.12.2023.
8. (A). AREA OF THE PLOT OF LAND (B). NO OF STORIED	292.642 SQ.M. G+II
9. NO OF TENEMENTS	EIGHT (08) Nos.
10. BL&LR CONVERSION :- MEMO NO - 17/2270/BLRRO/KOL/22 DATED = 27/06/2022 As Bastu	

PART - B.

1. AREA OF LAND:- (i) AS PER DEED (ii) AS PER BOUNDARY DECLARATION (iii) NET LAND AREA	= 292.642 SQ.M. or 04 KA- 06 CH. 00 SFT. = 310.506 SQ.M. or 04 KA- 10 CH. 12.286 SFT. = 310.506 SQ.M.
2. EFFECTIVE LAND AREA	= 292.642 SQ.M.
3. ROAD WIDTH = 4.891 M. SOUTH SIDE (BLACK TOP ROAD) & 5.860 M.(MIN) EAST SIDE (BLACK TOP ROAD) & 3.080 M. WEST SIDE (CEMENT CONCRETE ROAD)	
4. USER GROUP	= RESIDENTIAL.
5. (i) PERMISSIBLE GROUND COVERAGE (ii) PROPOSED GROUND COVERAGE	= (56.912 %) = 166.548 SQ.M. = (56.793 %) = 166.201 SQ.M.
6. PROPOSED HEIGHT	= 12.500 M.
7. PROPOSED AREA :-	

ION"  
OF  
Y

FLOOR	TOTAL COVERED AREA IN m <sup>2</sup>	LESS LIFT WELL IN m <sup>2</sup>	LESS STAIR WELL IN m <sup>2</sup>	ACTUAL FLOOR AREA IN m <sup>2</sup>	LESS STAIR EXEMPTED IN m <sup>2</sup>	LESS LIFT EXEMPTED IN m <sup>2</sup>	NET FLOOR AREA IN m <sup>2</sup>
GROUND	153.515	0	0	153.515	13.365	1.721	138.429
FIRST	166.201	2.013	0	164.188	13.365	1.721	149.102
SECOND	166.201	2.013	0	164.188	13.365	1.721	149.102
THIRD	166.201	2.013	0	164.188	13.365	1.721	149.102
TOTAL	652.118	6.039	0	646.079	53.460	6.884	585.735
TENEMENTS & CAR PARKING CALCULATION							
TENEMENT MARKED	TENEMENT SIZE in m <sup>2</sup>	TO BE ADDED	ACTUAL TENEMENT AREA INCLUDING PROP: AREA IN m <sup>2</sup>	NO OF TENEMENT	NO OF CAR REQUIRED		
A	50.435	8.200	58.635	1	3		
B	60.796	9.885	70.681	1			
C	86.985	14.143	101.128	1			
D	61.174	9.946	71.120	1			
E	86.607	14.081	100.688	1			
F	60.418	9.823	70.241	1			
G	26.369	4.287	30.656	1			
H	59.205	9.626	68.831	1			

CALCULATION OF F.A.R

1. EFFECTIVE LAND AREA IN m <sup>2</sup>	292.642
2. TOTAL REQUIRED CAR PARKING	3
3. TOTAL COVERED CAR PARKING PROVIDED	3
4. TOTAL OPEN CAR PARKING PROVIDED	NIL
5. PERMISSIBLE EXEMPTED AREA FOR CAR PARKING IN m <sup>2</sup>	75
6. ACTUAL CAR PARKING AREA PROVIDED IN m <sup>2</sup>	74.098
7. CAR PARKING AREA EXEMPTED IN m <sup>2</sup>	74.098
8. PERMISSIBLE F.A.R	1.050
9. PROPOSED F.A.R	1.748
10. STAIR HEAD ROOM AREA IN m <sup>2</sup>	16.585
11. O.H.W.R. AREA IN m <sup>2</sup>	4.805
12. LIFT MACHINE ROOM AREA IN m <sup>2</sup>	6.163
13. LIFT MACHINE ROOM STAIR AREA IN m <sup>2</sup>	3.488
14. CUP BOARD AREA IN m <sup>2</sup>	11.350
15. EXISTING STRUCTURE AREA IN m <sup>2</sup>	296.794
16. TREE COVER AREA IN m <sup>2</sup>	3.921

SPECIFICATIONS :-

- EXTERNAL WALLS ARE 200 mm AND INTERNAL WALLS 125 & 75 mm THICK WITH CEMENT MORTAR 1:6 AND 1:4 RESPECTIVELY.
- CEMENT PLASTER ON INTERNAL WALLS AND CEILING 1:6 & 1:4 RESPECTIVELY.
- 75 THICK SCREED CONCRETE ON ROOF SLAB (1:1.5:3) USING CHEMICALS FOR WATER PROOFING.
- GRADES OF STEEL IS Fe-500, AND GRADE OF CONCRETE IS (1:1.5:3).
- ALL MATERIAL AND CONSTRUCTION SHOULD BE AS PER I.S. CODE.
- ALL R.C.C. WORKS SHALL BE CARRIED OUT WITH (1:1.5:3) PROPORTION.
- 450 mm PROJECTED CHAJJAH.
- 16 mm GRADE STONE CHIPS WILL BE USE IN R.C.C. WORKS.
- ALL MARBLE FLOORING TO BE USED: 15-20mm THICK MARBLE FLOORING.
- P.O.P. PUNNING ON INTERNAL WALLS & CEILING.
- ALUMINUM SECTION WINDOWS WITH 5mm THICK GLASS PANELS.

NOTES :-

- ALL DIMENSIONS ARE IN mm UNLESS OTHER WISE STATED.
- ALL SCALES ARE 1:100 UNLESS OTHER WISE STATED.
- DEPTH OF FOUNDATION OF SEPTIC TANK AND S.U.G.W.R. SHOULD NOT GO BEYOND THE DEPTH OF FOUNDATION OF THE BUILDING. ALL SORTS OF PRECAUTIONARY MEASURE WILL BE TAKEN AT THE TIME OF CONSTRUCTION OF SEPTIC TANK AND S.U.G.W.R.

PROPOSED G+III STORIED RESIDENTIAL BUILDING PLAN U/S 393A OF K.M.C. ACT 1980 UNDER BUILDING RULE 2009 COMPLYING OFFICE CIRCULAR NO. - 02 OF 2020-2021, DATED - 13/06/2020 AT PREMISES NO. - 250, VIVEKANANDA PARK, WARD NO. - 111, BOROUGH NO. - XI, P.S. - BANSDRONI, P.O. - GARIA, KOLKATA - 700084, UNDER THE KOLKATA MUNICIPAL CORPORATION.

SHEET NO. -2	DRAWN BY - SUBHAM NASKAR
BUILDING PLANNER ANIK & ASSOCIATES USHAPALLY, GARIA, KOLKATA-700084	