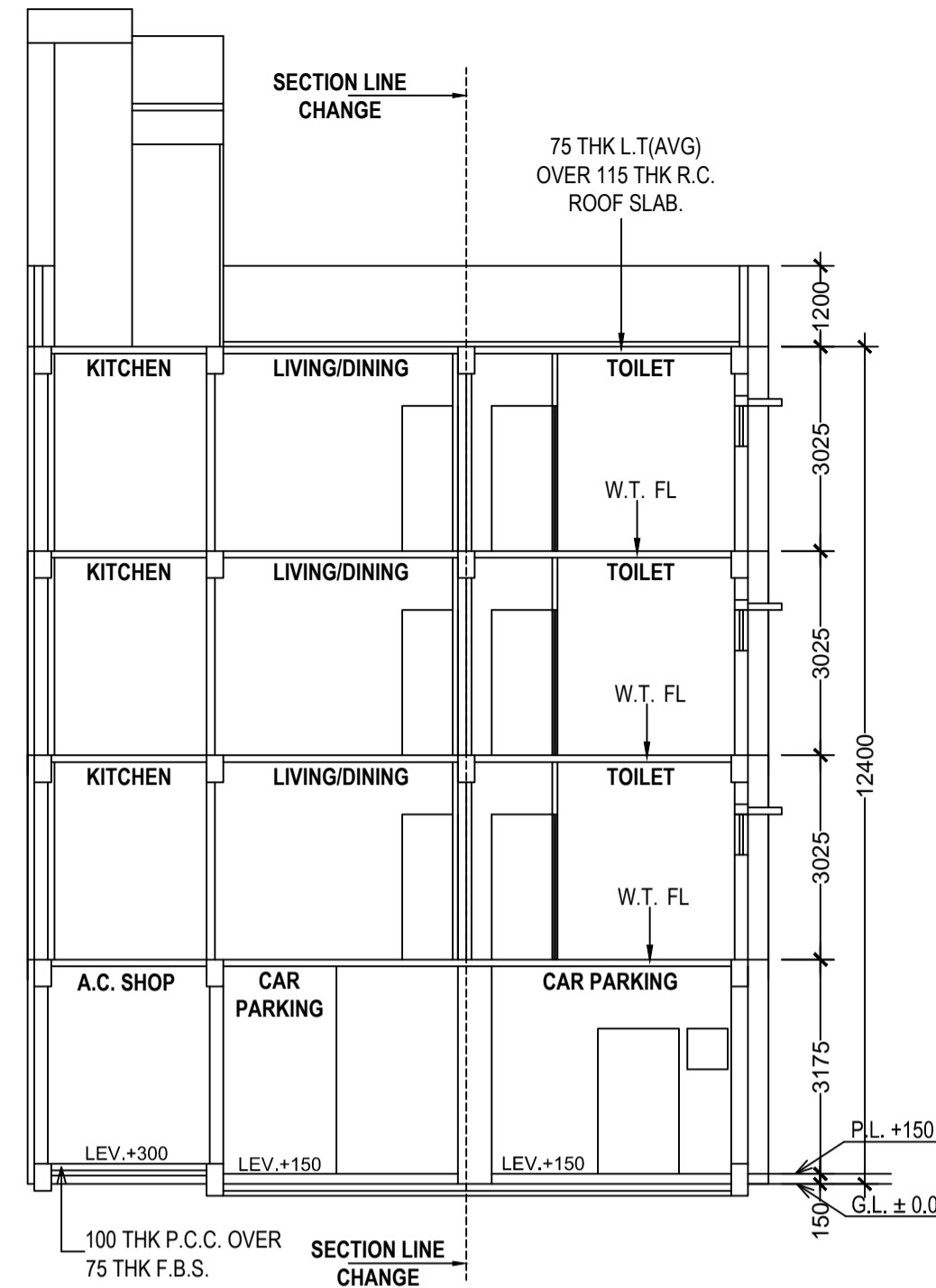


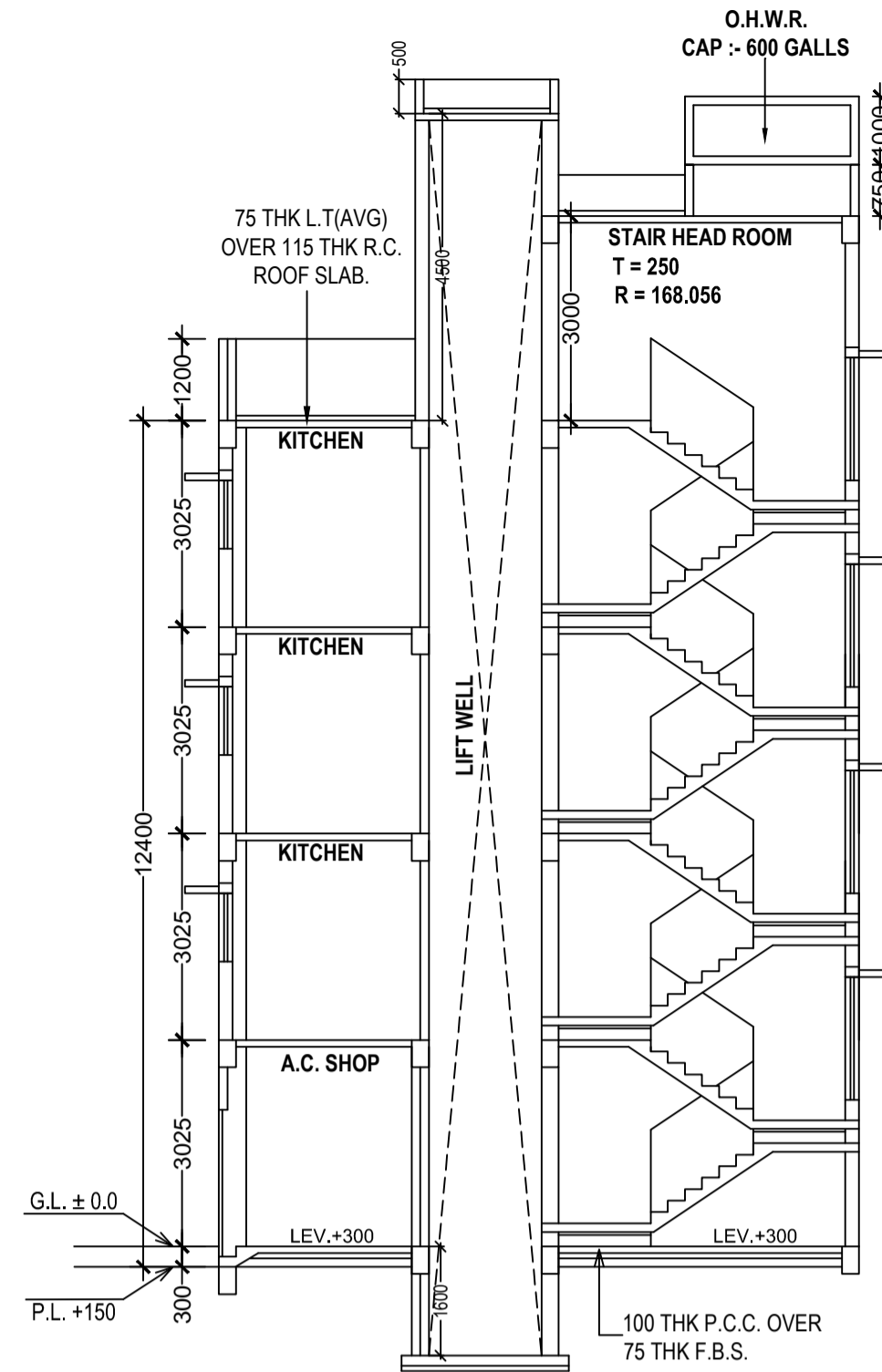
**FRONT ELEVATION**

SCALE: 1:100



**SECTION THROUGH A - A'**

SCALE: 1:100

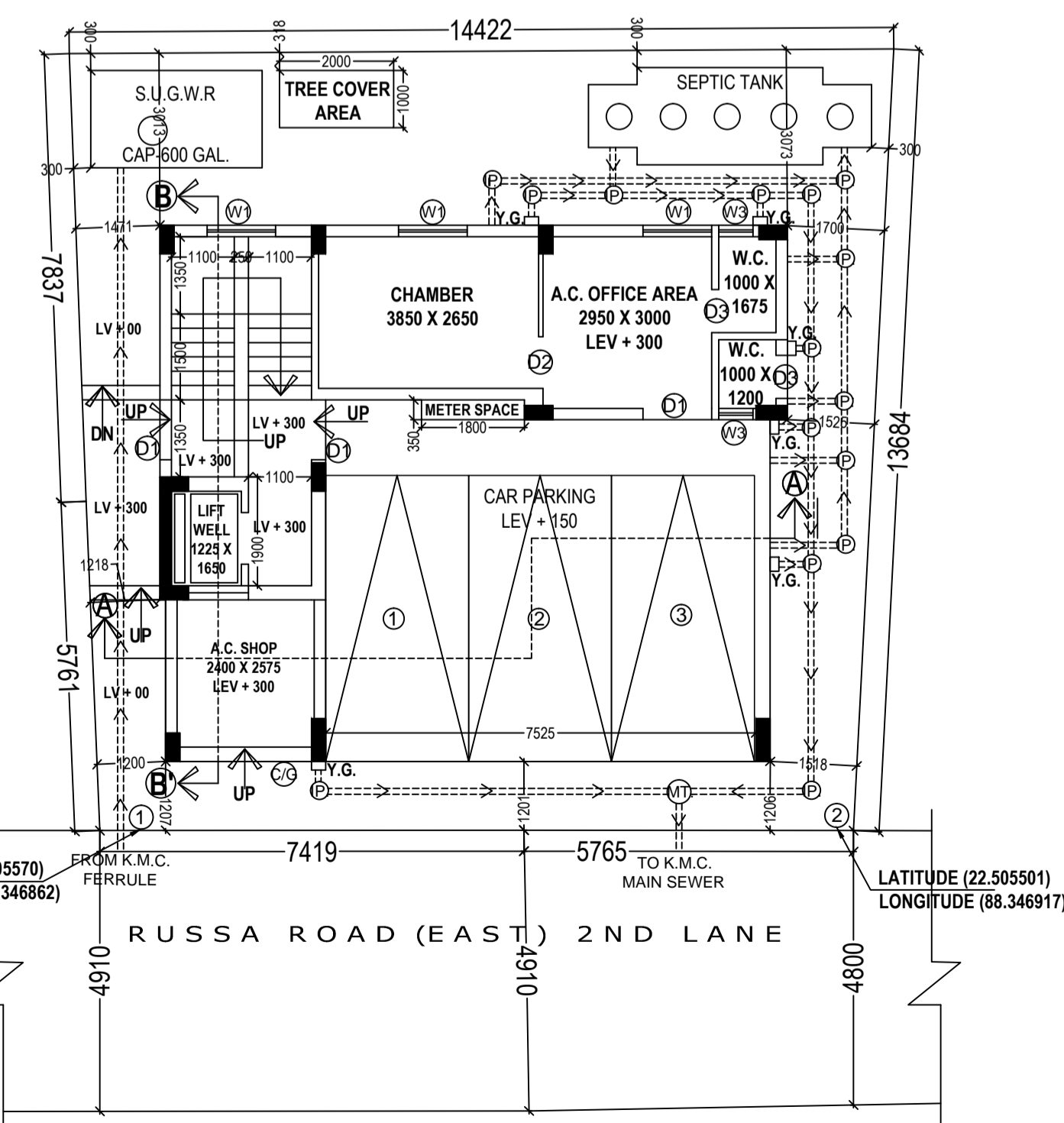


**SECTION THROUGH B - B'**

SCALE: 1:100

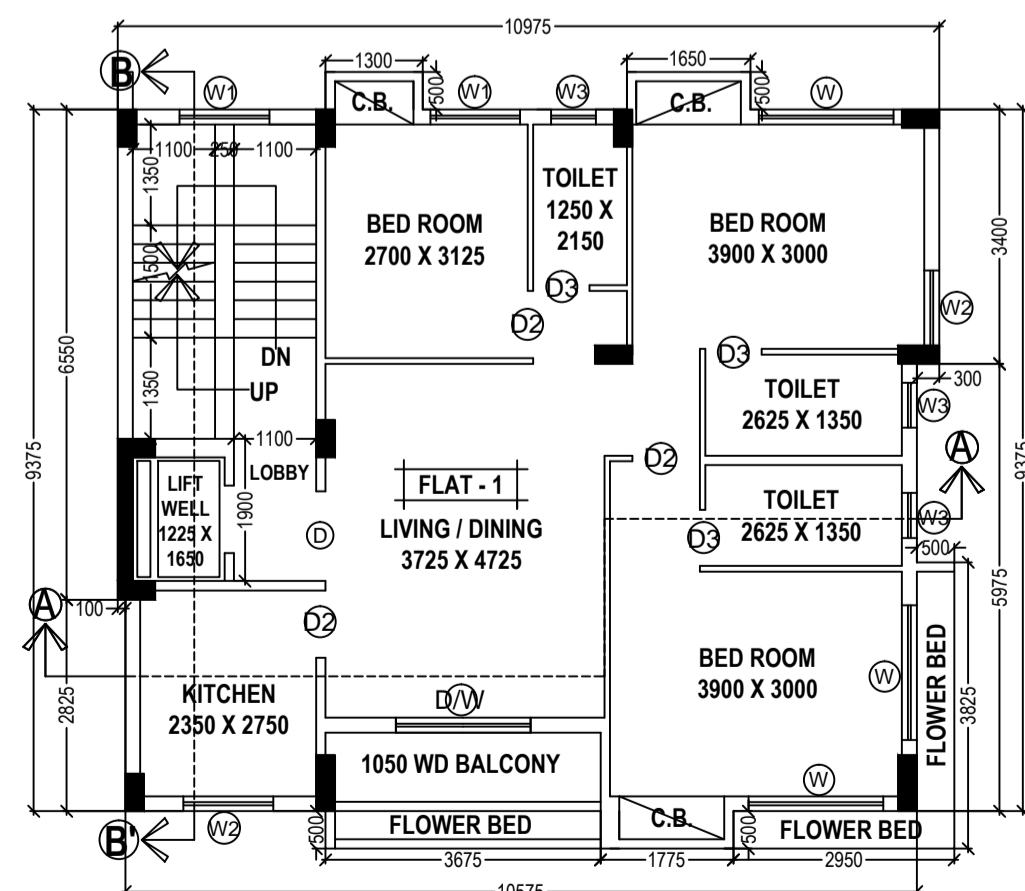


DEPTH OF S.U.G.W.RESERVOIR & SEPTIC TANK SHOULD NOT BE GO BEYOND THE FOUNDATION OF THE BUILDING.



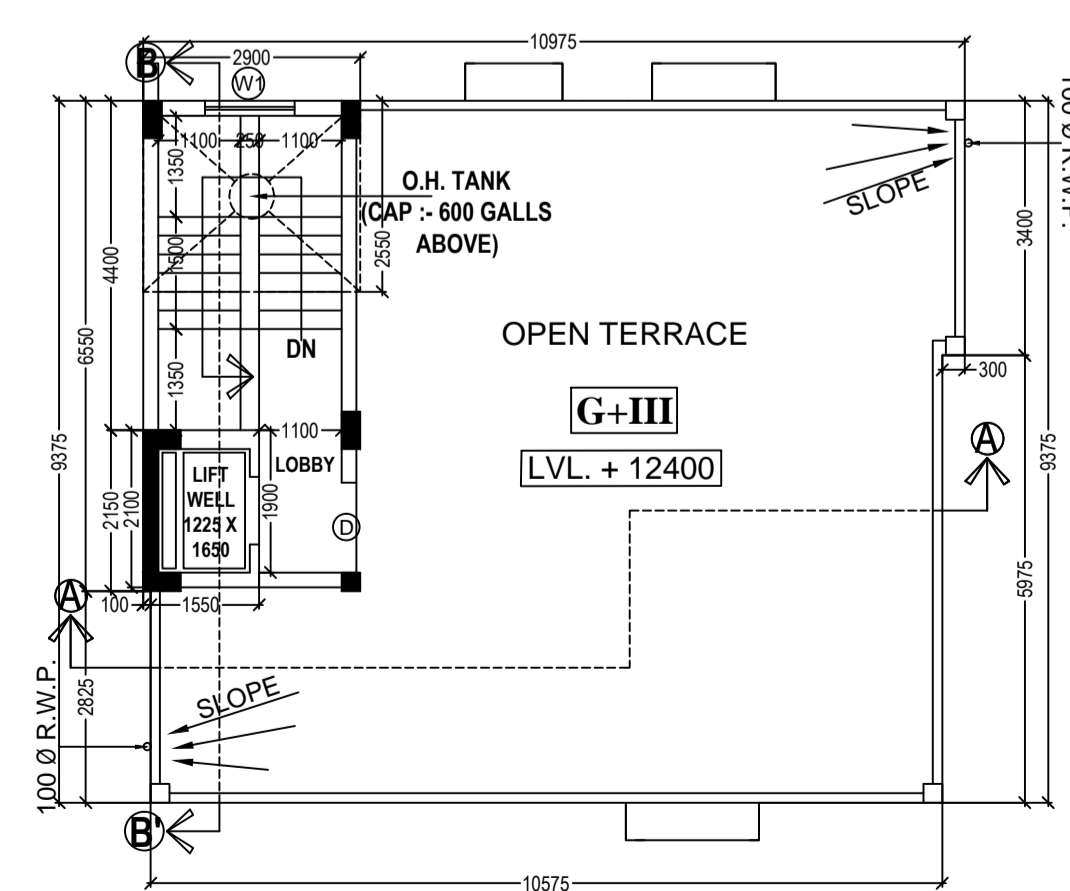
**GROUND FLOOR PLAN**

SCALE: 1:100



**1ST TO 3RD FLOOR PLAN**

SCALE: 1:100



**ROOF PLAN**

SCALE: 1:100

**DOOR WINDOW SCHEDULE**

TYPE	WIDTH	HT.	TYPE	WIDTH	HT.
D1	1050	2150	W	1800	1800
D2	900	2150	W1	1200	1800
D3	750	2150	W2	1000	1800
D/W	1800	2150	W3	600	600
C/G	2300	2150			

**CERTIFICATE**

Premises No : 11, RUSSA ROAD EAST 2ND LANE  
 Assessee No : 210891800150  
 Name of the Owner (s) / Applicant (s) :  
 MD. SHABAAZ KHAN, DIRECTOR GLARY CONSTRUCTION PVT. LTD  
 Area of Land :  
 (i) 2 K - 13 CH - 00 SFT = 188.127 SQM [ AS PER DEED & PHYSICAL ]  
 Name of L.B.A. : Arjun Pal Regn. No. - CA/2010/47578  
 Permissible height in reference to CCZM issued by AAI : 33.0 M.

Co-Ordinate in WGS 84 and site elevation (AMSL) :

Reference points marked in The site plan of the proposal	Co-ordinate in WGS 84		Site Elevation (AMSL)
	Latitude	Longitude	
1	22.505570	88.346862	2.7 M.
2	22.505501	88.346917	2.7 M.

That above information is true and correct in all respect and if at any stage, it is found otherwise, then I shall be fully liable for which KMC and other appropriate authority reserve the right to take appropriate action against me as per law.

ARJUN PAL ( B. Arch )  
 Registered Architect  
 Reg. No.- CA/2010/47578  
 NAME OF ARCHITECT

MD. SHABAAZ KHAN  
 DIRECTOR GLARY CONSTRUCTION PVT. LTD  
 NAME OF OWNER / APPLICANT

**SPECIFICATIONS**

R.C.C. FRAME STRUCTURE WITH CONC. GRADE 1:1.5:3.  
 200 M.M. THK. EXTERNAL 125 & 75 M.M. THK. INTERNAL WALLS WITH 1:4 CEMENT MORTAR JOINTS.  
 STEEL Z- SECTION MARBLE FLOORING.  
 CAST-IN-SITU MARBLE FLOORING.  
 1:6 & 1:4 CEMENT PLASTER ON INTERNAL WALLS AND CEILING RESPECTIVELY.  
 WATER PROOFING TREATMENT.  
 P.O.P. PUNNING ON INTERNAL WALLS & CEILING.

**STATEMENT OF THE PLAN PROPOSAL**

**PART-A:**

- ASSESSE NO : 210891800150
- DETAIL OF REGISTERED DEED :  
 BOOK NO : 1 VOL NO : 1603-2024 PAGE NO : 277932 TO 277960  
 BEING NO : 160310065 DATED : 02.07.2024 PLACE : D.S.R.-III SOUTH 24 PARGANAS
- a) AREA OF LAND (Deed & Physical) : 2K-13CH-00SFT = 188.127 SQM  
 b) NO OF STOREY : G+III  
 c) NO. OF TENEMENTS : 3 NOS.  
 d) NO. OF TENEMENTS : 3 NOS.  
 e) SIZE OF TENEMENTS : a) 100.0 - 200.0 Sqm ..... 03 NOS

**PART-B:**

- AREA OF LAND AS PER TITLE DEED = 2K-13CH-00SFT = 188.127 SQM
- (i) PERMISSIBLE GROUND COVERAGE :- 60.00 % = 112.876 SQM  
 (ii) PROPOSED GROUND COVERAGE :- 53.589 % = 100.816 SQM
- PROPOSED HEIGHT = 12.400 MT.
- PROPOSED AREA

GROUND FLOOR	GROSS COVERED AREA	CUT OUT			EXEMPTED AREA		NET FLOOR AREA
		STAIR DUCT	LIFT WELL	STAR-STAR LOBBY	LIFT LOBBY		
1ST FLOOR	100.816 SQM	0.375 SQM	2.021 SQM	9.915 SQM	2.09 SQM	88.811 SQM	
2ND FLOOR	100.816 SQM	0.375 SQM	2.021 SQM	9.915 SQM	2.09 SQM	86.415 SQM	
3RD FLOOR	100.816 SQM	0.375 SQM	2.021 SQM	9.915 SQM	2.09 SQM	86.415 SQM	
TOTAL	403.264 SQM	1.125 SQM	6.063 SQM	39.690 SQM	6.36 SQM	348.056 SQM	

**5. TENEMENTS & CAR PARKING CALCULATION :-**

**(A) RESIDENTIAL:**

MARKED TENEMENT SIZE	PROPORTIONAL AREA TO BE ADDED	ACTUAL TENEMENT AREA	NO. OF TENEMENT	REQUIRED CAR PARKING
1	84.121 SQ.M	21.147 SQ.M	105.288 SQ.M	3

**(B) MERCANTILE (RETAIL) :-**

- (i) SHOP BUILT-UP AREA = 6.143 SQM.
- (ii) SHOP CARPET AREA = 6.143 SQM. REQUIRED CAR PARKING = NIL

**(C) BUSINESS :-**

- (i) OFFICE BUILT-UP AREA = 25.321 SQM.
- (ii) OFFICE CARPET AREA = 20.775 SQM. REQUIRED CAR PARKING = NIL

**(D) PARKING:**

- (i) TOTAL REQUIRED CAR PARKING :- 3 NOS
- (ii) TOTAL PROVIDED CAR PARKING :- 3 NOS
- (iii) PERMISSIBLE AREA FOR PARKING = 75.0 SQ.M.
- (iv) PROVIDED AREA OF PARKING = 47.042 SQ.M.

**6. F.A.R.:**

- (i) PERMISSIBLE F.A.R = 1.75
- (ii) PROPOSED F.A.R = (348.056 - 47.042) / 188.127 = 1.600<1.75

**7. MISC AREA:**

- (i) STAIR HEAD ROOM AREA :- 15.27 SQ.M.
- (ii) LIFT MACHINE ROOM AREA (M.R.L.) :- 3.255 SQ.M.
- (iii) TERRACE AREA :- 100.816 SQ.M.
- (iv) RELAXATION OF AUTHORITY, IF ANY :- N.A.
- (v) OVER HEAD TANK AREA :- 7.395 SQ.M.
- (vi) AREA OF CUP-BBOARD :- 7.086 SQ.M.
- (vii) AREA OF TREE COVER :- 2.00 SQM.
- (viii) TOTAL AREA FOR FEES = 421.686 SQM

**CERTIFICATE OF GEO - TECHNICAL ENGINEER**

UNDERSIGNED SHALL INSPECT THE SITE AND CARRY OUT SOIL INVESTIGATION THEREON. IT SHALL BE ASCERTAINED THAT THE EXISTING SOIL OF THE SITE WILL BE ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HEREIN WILL BE SAFE & STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

DR. SUJIT KUMAR BOSE  
 Ph.D, MCE, BCE, MIGS, MIRS  
 G.T.E. - 12(I)  
 NAME OF GEO-TECHNICAL ENGINEER

**CERTIFICATE OF STRUCTURAL ENGINEER**

THE STRUCTURAL DESIGN OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING WILL BE MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER N.B.C OF INDIA, SHALL BE CONSTRUCTED IS SAFE AND STABLE IN ALL RESPECT.

JOYDEEP MUKHERJEE  
 B.E. (CIVIL), E.S.E. - 178(I)  
 NAME OF STRUCTURAL ENGINEER

**DECLARATION OF ARCHITECT**

CERTIFIED THAT THE PLAN ITSELF WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES 2009, AS AMENDED FROM TIME TO TIME AND THE SITE CONDITION INCLUDING THE ADJUTING ROAD IS CONFORM WITH THE PLAN. IT IS A BUILD ABLE SITE NOT A TANK OR FILLED UP TANK. THE SITE WILL BE SUPERVISED BY ME.

ARJUN PAL (B.ARCH)  
 Registered Architect  
 Regn No - CA/2010/47578  
 NAME OF ARCHITECT

**DECLARATION OF OWNER**

I DO HERE BY DECLARE WITH FULL RESPONSIBILITY THAT, I SHALL ENGAGE L.B.A & E.S.E DURING CONSTRUCTION. I SHALL FOLLOW THE INSTRUCTION OF L.B.A & E.S.E DURING CONSTRUCTION OF THE BUILDING (AS PER PLAN) K.M.C AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURE. IF ANY SUBMITTED DOCUMENT ARE FAKE THE K.M.C AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF S.U.G.W.R & SEPTIC TANK TAKEN UNDER THE GUIDANCE OF L.B.A/E.S.E BEFORE STARTING OF BUILDING FOUNDATION. THE PLOT IS IDENTIFIED BY ME. THE PLOT IS FULLY DEMARCATED BY BOUNDARY WALL. THERE IS NO TENANT. THERE IS NO COURT CASE PENDING AGAINST THIS PLOT.

MD. SHABAAZ KHAN  
 DIRECTOR GLARY CONSTRUCTION PVT. LTD  
 NAME OF OWNER / APPLICANT

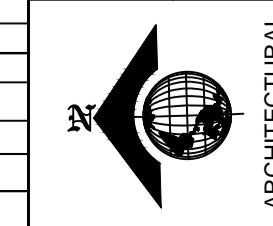
B.P. NO. - 2024100255 DATED :- 28/02/2025 VALID UPTO :- 27/02/2030

DIGITAL SIG. OF ASSISTANT ENGINEER (K.M.C.)  
 BR. X / BUILDING DEPARTMENT

GROUND FLOOR PLAN, FIRST, SECOND, THIRD FLOOR PLAN, ROOF PLAN, FRONT SIDE ELEVATION, SECTION AT A-A', B-B'.

PROJECT:  
 PROPOSED G+III STORIED (HT.-12.400MT.) RESIDENTIAL BUILDING U/S 393 A OF K.M.C. ACT 1980 & UNDER K.M.C. BUILDING RULE 2009, AT PREMISES NO - 11, RUSSA ROAD EAST 2ND LANE, WARD NO.-89, BOROUGH NO.- X, P.S. - CHARU MARKET, KOLKATA - 700 033.

JOB NO.	DRG. NO.	DATE	DEALT
2/2	ARCH CORP-A DWG	20.02.2025	AYAN



**syn tech engg pvt. ltd.**  
 (redefining synergy technologies)  
 ARCHITECTS, ENGINEERS, INTERIOR DESIGNERS, LANDSCAPE  
 367, Lake Gardens Kolkata - 700 045. Tel. : +91-98330-96177, +91-98200-42212  
 e-mail: synergystechnologiescalcutta@gmail.com

SCALE: 1:100