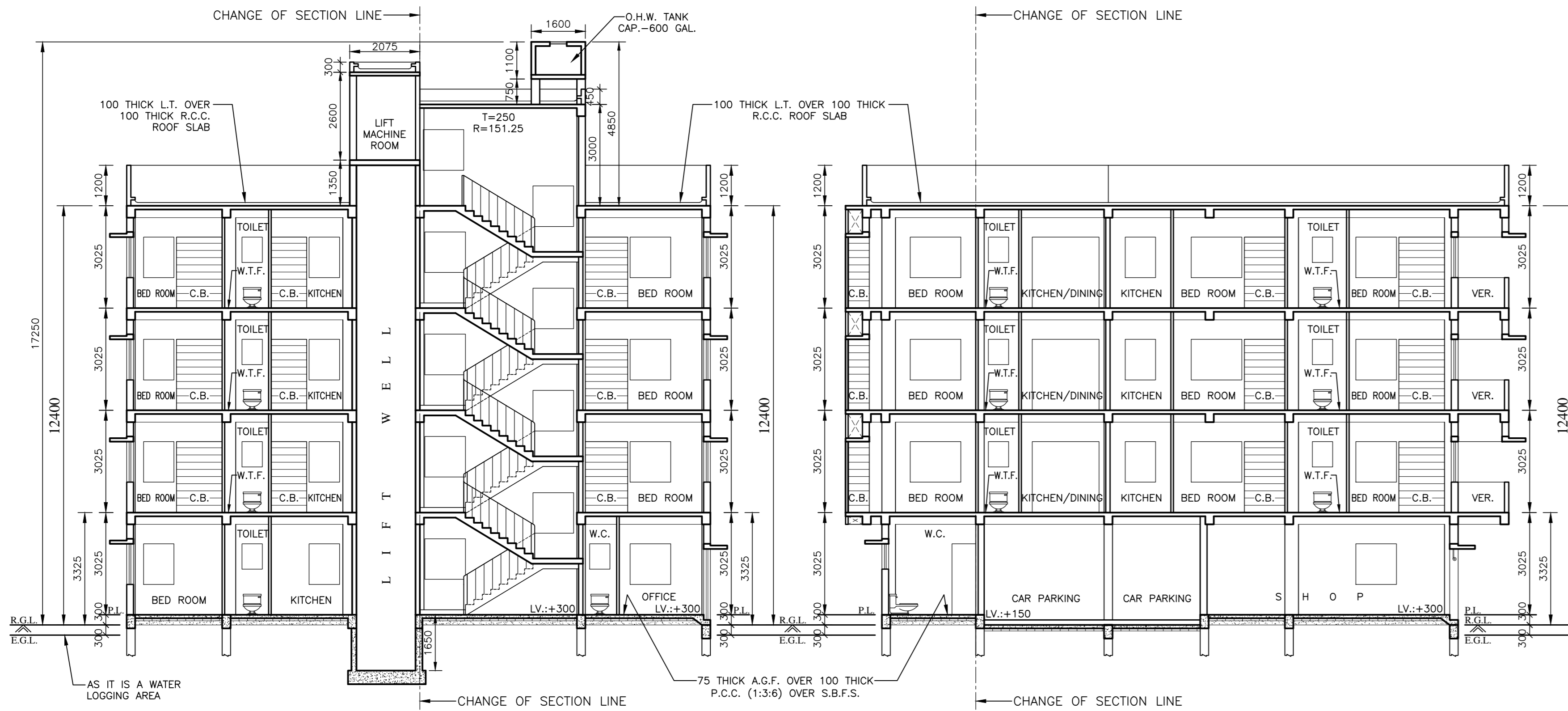




FRONT SIDE ELEVATION
SCALE - 1:100

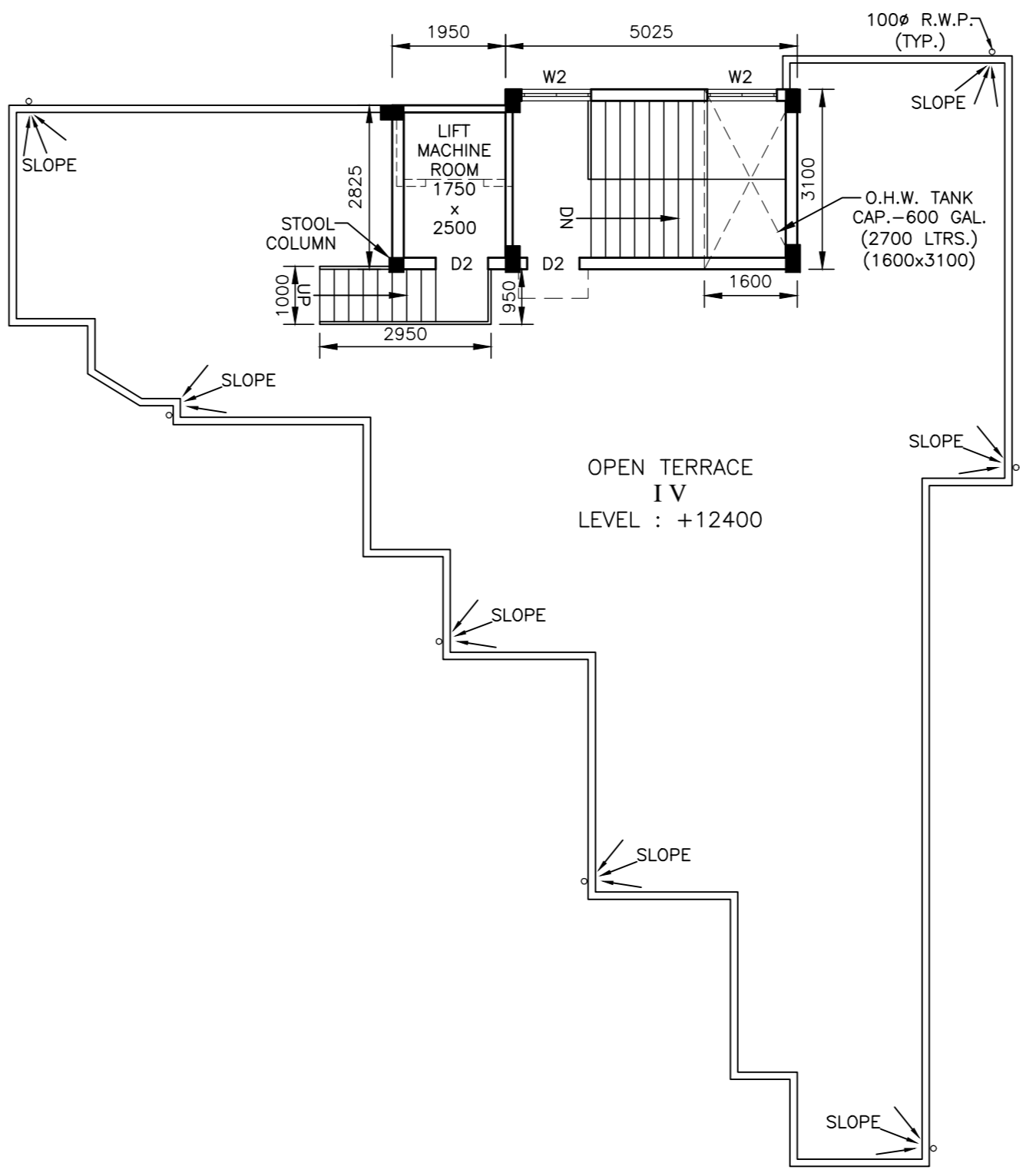


EAST SIDE ELEVATION
SCALE - 1:100

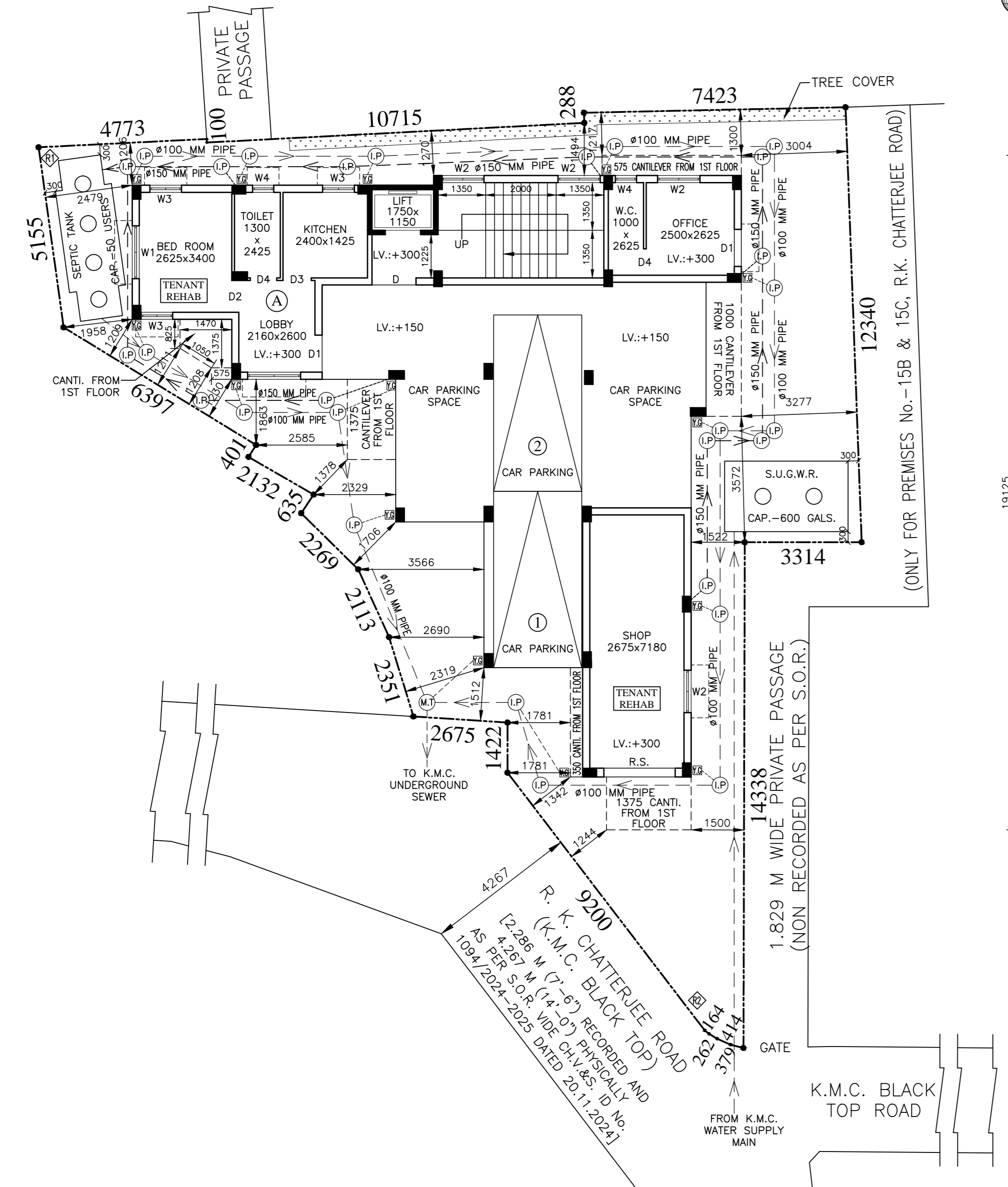


SECTION - 'A-A'
SCALE-1:100

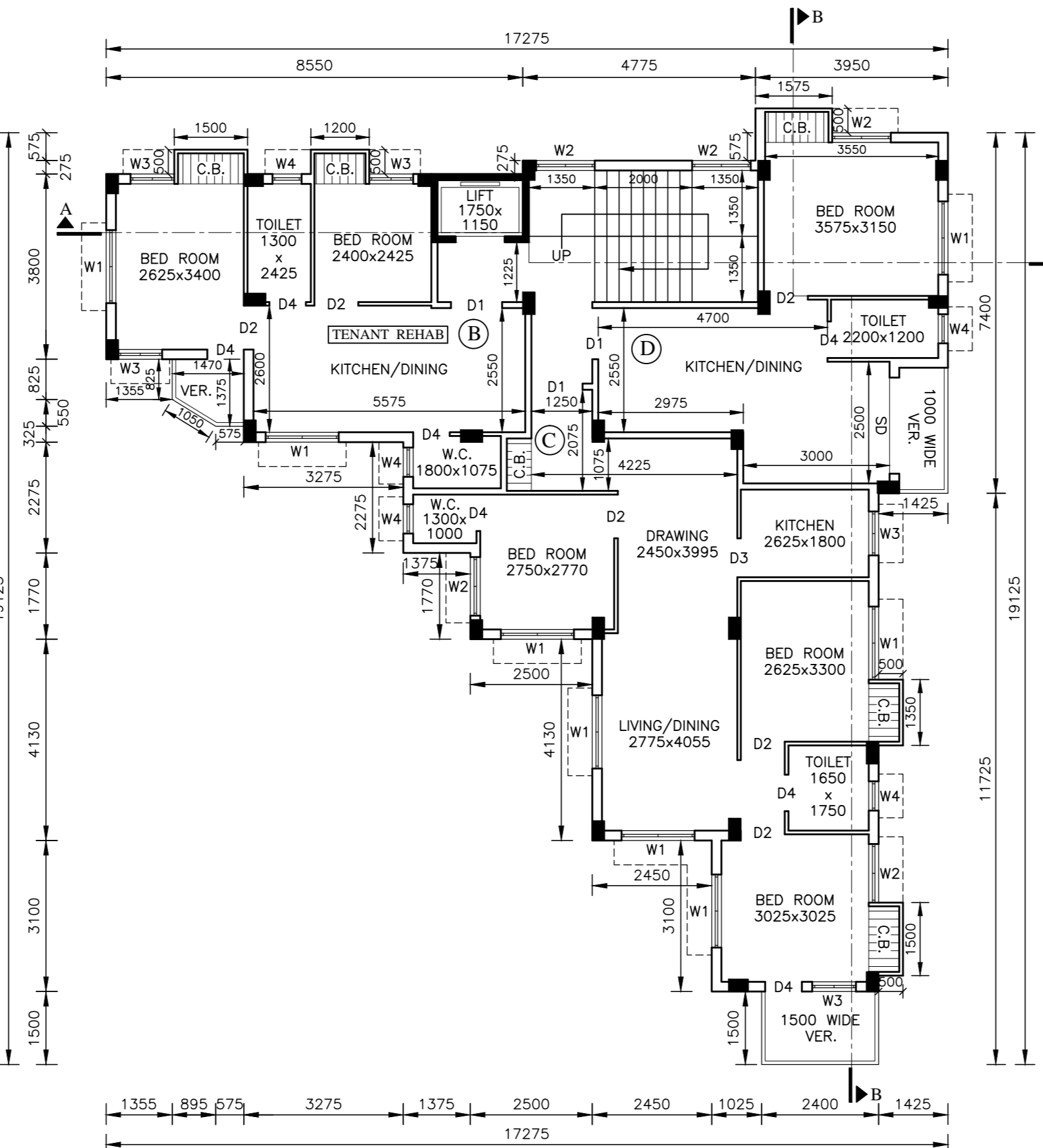
SECTION - 'B-B'
SCALE-1:100



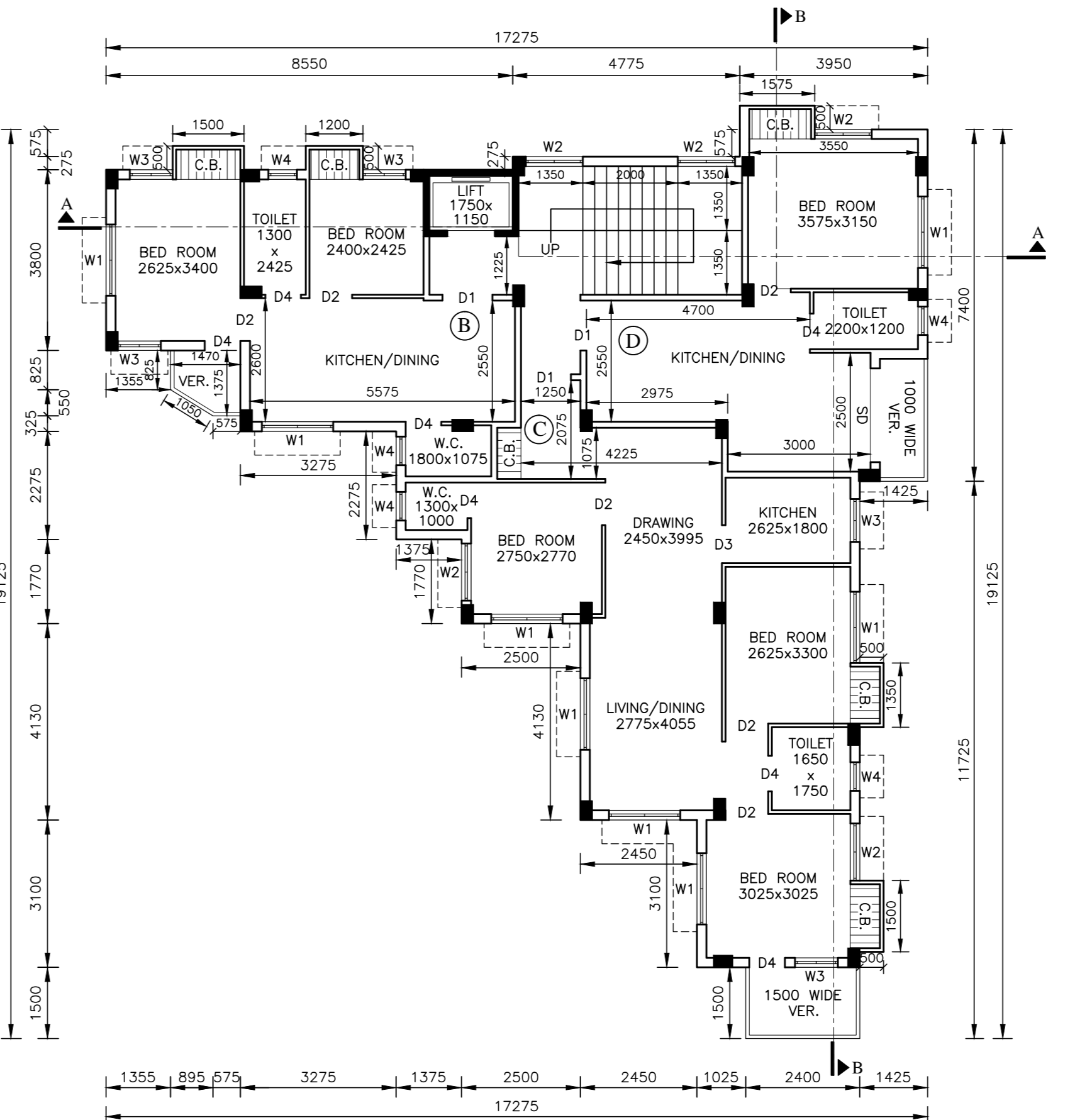
ROOF PLAN
SCALE-1:100



GROUND FLOOR PLAN
SCALE-1:100



1ST FLOOR PLAN
SCALE-1:100



TYPICAL FLOOR PLAN
(2ND & 3RD FLOOR)
SCALE-1:100

PART-A:
01. ASSESSEE No. : 21-067-20-0104-3
02. NAME OF OWNERS: DEBSANKAR ADDY, SEULI SEN
03. NAME OF APPLICANT: SRI ASHUTOSH DAS PROPRIETOR OF "A. DAS & Co." AS C.A. OF DEBSANKAR ADDY & SEULI SEN
04. DETAILS OF REGISTERED DEED: VOL. No.:1603-2024 PAGE No.:240662-240689 BEING No.:160309338 DATE : 07.06.2024 PLACE:D.S.R. III, 24 PGS.(S)
05. DETAILS OF REGISTERED BOUNDARY DECLARATION: VOL. No.:1603-2024 PAGE No.:381730-381742 BEING No.:160314746 DATE : 29.08.2024 PLACE:D.S.R. III, 24 PGS.(S)
06. DETAILS OF REGISTERED POWER OF ATTORNEY: VOL. No.:1603-2024 PAGE No.:240581-240595 BEING No.:160309342 DATE : 07.06.2024 PLACE:D.S.R. III, 24 PGS.(S)
07. DETAILS OF UNDERTAKING FOR NON-EVICTION OF TENANT: VOL. No.:1603-2024 PAGE No.:433464-433473 BEING No.:160316641 DATE : 27.09.2024 PLACE:D.S.R. III, 24 PGS.(S)
08. No. OF STORES = 0+111
09. No. OF TENEMENTS = 10 Nos.
10. SIZE OF TENEMENTS = BELOW 50 SQM=7 Nos. & 75-100 SQM=3 Nos.

DOOR & WINDOW SCHEDULE

TYPE	WIDTH	HEIGHT	TYPE	WIDTH	HEIGHT
D	1200	2100	W1	1500	1200
D1	1050	2100	W2	1200	1200
D2	900	2100	W3	1000	1200
D3	750	2100	W4	600	600
SD	1750	2100			

SPECIFICATIONS
1. ALL GRADE OF CONCRETE - M20.
2. ALL GRADE OF STEEL - Fe 500.
3. ALL OUTER WALL - 200 MM THICK 1:6 MORTAR.
4. ALL INTERNAL WALL-75 MM THICK WITH 1:4 MORTAR EXCEPT OTHERWISE MENTIONED.
5. ALL PLASTER - 12 MM THICK WITH 1:4 MORTAR.
6. BEARING CAPACITY OF SOIL AS PER SOIL REPORT.
7. ALL OTHER MATERIALS USED AS PER IS CODE.
8. ALL DIMENSIONS ARE IN MM.
9. DEPTH OF S.L.G.W.R. AND SEPTIC TANK WILL NOT EXCEED THE DEPTH OF FOUNDATION.

NAME OF OWNER(S)/APPLICANT(S) : SRI ASHUTOSH DAS PROPRIETOR OF "A. DAS & Co." AS C.A. OF DEBSANKAR ADDY, SEULI SEN
AREA OF LAND : 321.906 SQM
NAME OF L.B.S. : SWADESH KUMAR MANDAL (L.B.S./11245)
PERMISSIBLE HEIGHT IN REFERENCE TO CCZM ISSUED BY AAJ : 33.0 M
COORDINATE IN WGS 84 AND SITE ELEVATION (AMSL) : 17.25 M

REFERENCE POINTS

POINT	CO-ORDINATE IN WGS 84	SITE ELEVATION (AMSL)
R1	22°31'11" NORTH 88°22'43" EAST	7.000 M
R2	22°31'11" NORTH 88°22'43" EAST	7.000 M

PART-B:
01. AREA OF LAND : AS PER TITLE DEED & ASSESSMENT RECORD (04 K-13 CH-00 SFT) = 321.906 SQM
02. AS PER BOUNDARY DECLARATION (PHYSICAL MEASUREMENT) (04 K-14 CH - 35.02 SFT) = 329.340 SQM
03. AREA OF SPLAY CORNER = NA
04. AREA OF STRIP = NA
05. LAND AREA CONSIDER = 321.906 SQM
06. (i) PERMISSIBLE GROUND COVERAGE (55.94%) = 180.063 SQM
(ii) PROPOSED GROUND COVERAGE (53.94%) = 173.638 SQM
07. PROPOSED HEIGHT = 12.400 M
08. DEPTH OF BUILDING = 19.125 M
09. FRONTAGE OF PLOT=(2.675+9.2+0.164+0.262+0.414+0.379)=13.094 M
10. No. OF TREE = 10 Nos. & TREE COVER AREA = 6.630 SQM (1.75%)
11. AREA OF EXISTING STRUCTURES = 349.617 SQM

12. PROPOSED AREA:

FLOORS	GROSS COVERED AREA (SQM)	CUTOFF STAIR WELL (SQM)	LIFT WELL (SQM)	NET COVERED AREA (SQM)	EXEMPTED AREA STAIR LOBBY (SQM)	NET FLOOR AREA (SQM)
GROUND FLOOR	157.978	0.000	157.978	12.690	2.297	142.991
1ST FLOOR	173.638	0.000	173.638	12.690	2.297	158.638
2ND FLOOR	173.638	0.000	173.638	12.690	2.297	158.638
3RD FLOOR	173.638	0.000	173.638	12.690	2.297	158.638
TOTAL	678.892	0.000	678.892	50.760	9.188	612.905

13. TENEMENTS & CAR PARKING CALCULATION:
(A) RESIDENTIAL :
No. OF TENEMENTS = 10 Nos.
No. OF CAR PARKING = 2 Nos.
(B) MERCANTILE RETAIL :
(i) SHOP BUILT-UP AREA = 23.462 SQM
(ii) SHOP CARPET AREA = 19.713 SQM (REQUIRED CAR PARKING = NA)
(C) BUSINESS :
(i) OFFICE BUILT-UP AREA = 11.797 SQM
(ii) OFFICE CARPET AREA = 9.454 SQM (REQUIRED CAR PARKING = NA)
14. TENANT REHABILITATED AREA (GROUND FLOOR, FLAT-A) = 33.296 SQM
TENANT REHABILITATED AREA (1ST FLOOR, FLAT-B) = 48.366 SQM
TENANT REHABILITATED AREA (GROUND FLOOR, SHOP) = 23.462 SQM
15. TOTAL REQUIRED CAR PARKING = 2 Nos.
16. TOTAL PROVIDED CAR PARKING = 2 Nos.
17. PERMISSIBLE AREA FOR PARKING = 50.000 SQM
18. PROVIDED AREA OF PARKING = 74.005 SQM
19. PERMISSIBLE F.A.R = 1.75
20. PROPOSED F.A.R = (612.905 - 50.000) / 321.906 = 1.749 < 1.75

CERTIFICATE OF STRUCTURAL ENGINEER
THE STRUCTURAL DESIGN & DRAWING OF BOTH FOUNDATION AND SUPER STRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING SEISMIC LOAD AS PER NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECTS.
SOIL TESTING HAS BEEN DONE BY BHASKARIYOTI ROY ("M.S. GEO STAR", 50, CHIT KALIKAPUR, KOLKATA-99) RECOMMENDATIONS OF SOIL TEST REPORT HAS BEEN CONSIDERED DURING STRUCTURAL CALCULATIONS.

SWADESH KUMAR MANDAL
E.S.E. - CLASS - 11/399
NAME OF STRUCTURAL ENGINEER
CERTIFICATE OF GEO-TECH. ENGINEER
UNDERSIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREIN. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED THEREIN IS SAFE AND STABLE IN ALL RESPECTS FROM GEO-TECHNICAL POINT OF VIEW.

BHASKARIYOTI ROY
G.T.E. - CLASS - 1/50
NAME OF GEO-TECH. ENGINEER
DECLARATION OF L.B.S.
CERTIFIED WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES 2009 AS AMENDED FROM TIME TO TIME AND THAT THE SITE CONDITIONS INCLUDING THE WIDTH OF THE ADJUTING ROAD CONFORM WITH THE PLAN AND WHICH HAS BEEN MEASURED AND VERIFIED BY ME.
• THE PLOT IS WITH EXISTING STRUCTURE WHICH IS OCCUPIED BY THE OWNER'S AND TENANTS AND DEMARCATED BY BOUNDARY WALL. IT IS A BUILDABLE SITE AND NOT A TANK OR FILLED UP TANK.
• THE CONSTRUCTION OF U.G. WATER TANK AND SEPTIC TANK WILL BE COMPLETED BEFORE STARTING OF BUILDING FOUNDATION.

SWADESH KUMAR MANDAL
L.B.S. - CLASS - 1/1245
NAME OF L.B.S.
DECLARATION OF OWNERS / APPLICANT
I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT I SHALL ENGAGE L.B.S. & E.S.E. DURING CONSTRUCTION I SHALL FOLLOW THE INSTRUCTIONS OF L.B.S. & E.S.E. DURING CONSTRUCTION OF THE BUILDING (AS PER B.S. PLAN). K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING AND ADJOINING STRUCTURES. IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE, THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF WATER RESERVOIR AND SEPTIC TANK WILL BE COMPLETED UNDER THE GUIDANCE OF L.B.S./E.S.E. BEFORE STARTING OF BUILDING FOUNDATION WORK. PLOT IS IDENTIFIED BY ME DURING DEPARTMENTAL INSPECTION. THE PLOT IS WITH EXISTING STRUCTURE WHICH IS OCCUPIED BY THE OWNER'S AND TENANTS.

SRI ASHUTOSH DAS
PROPRIETOR OF "A. DAS & Co." AS CONSTITUTED ATTORNEY OF DEBSANKAR ADDY AND SEULI SEN
NAME OF OWNERS / APPLICANT
GROUND, 1ST, 2ND & 3RD FLOOR PLAN, ROOF PLAN, SECTION-AA & BB, FRONT & EAST SIDE ELEVATIONS.

PROJECT :
PROPOSED G + 111 STORED RESIDENTIAL BUILDING PLAN OF HEIGHT 12.4 M (U/S - 393 A OF K.M.C. ACT, 1980 AND K.M.C. BUILDING RULE 2009) AT PREMISES No. - 15 B, RAJ KRISHNA CHATTERJEE ROAD (R. K. CHATTERJEE ROAD), WARD No. - 67, BOROUGH - V II, KOLKATA - 700042, P. S. - KASBA, UNDER THE KOLKATA MUNICIPAL CORPORATION. DAG No. - 609. KHATIAN No. - 594, I.L.No. - 13, MOUZA - KASBA.

PLAN CASE No. - 2024070165
BUILDING PERMIT No. - 2024070131
SANCTION DATE - 06/01/2025
VALID UPTO - 05/01/2030
DIGITAL SIGNATURE OF A.E. DIGITAL SIGNATURE OF E.E.