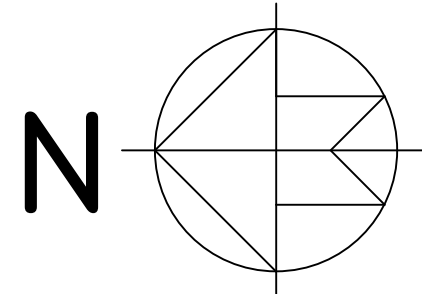
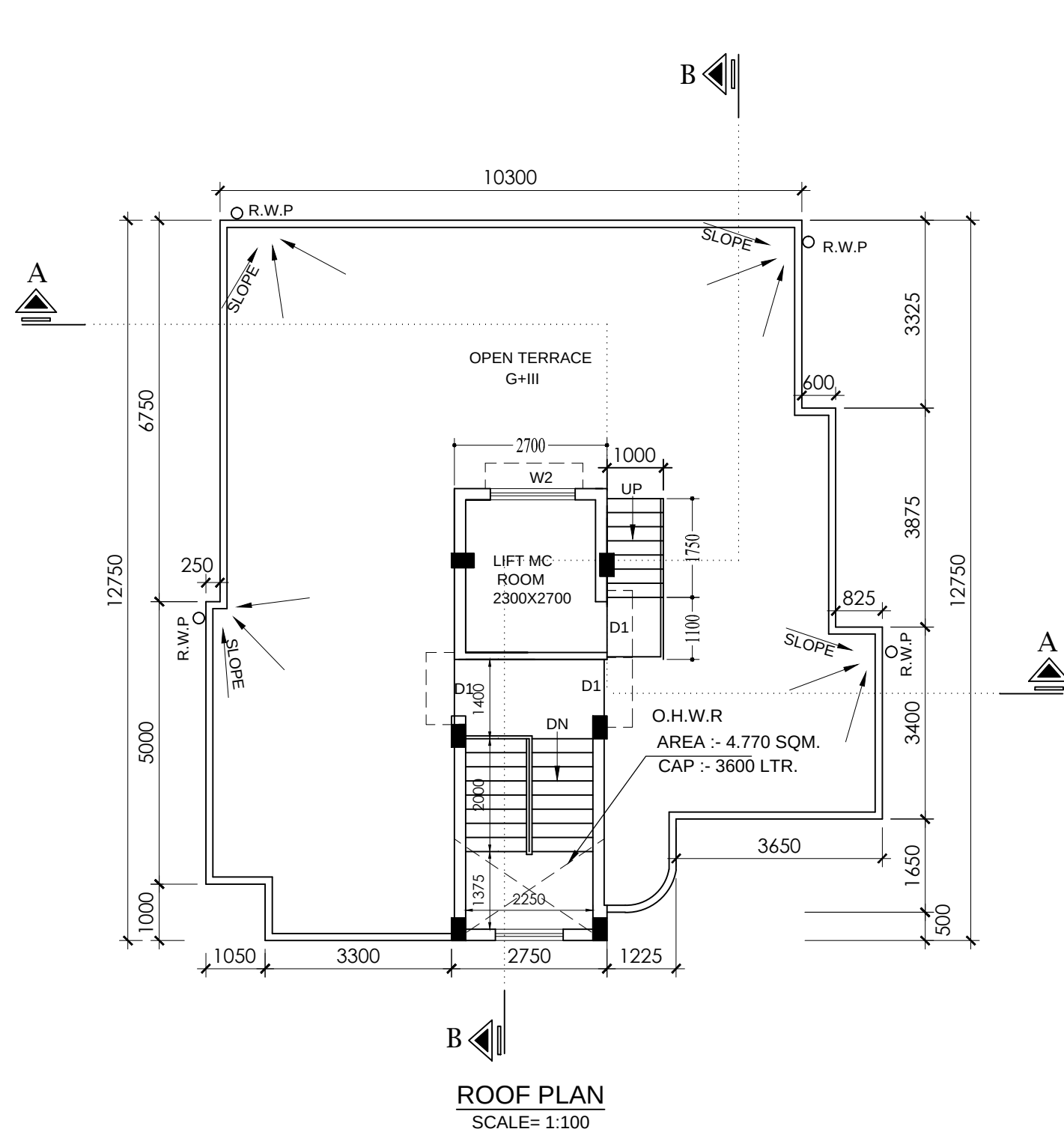
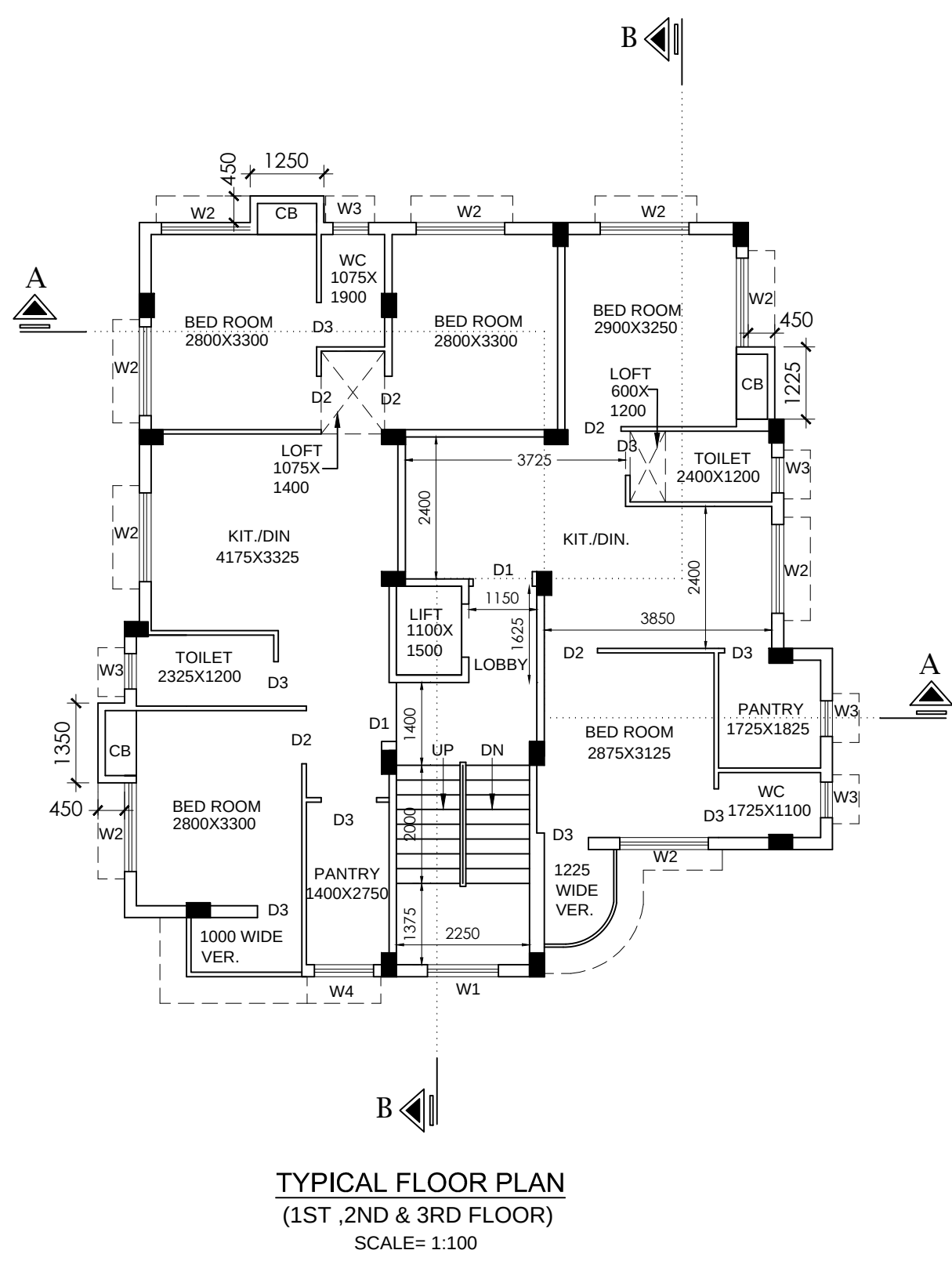
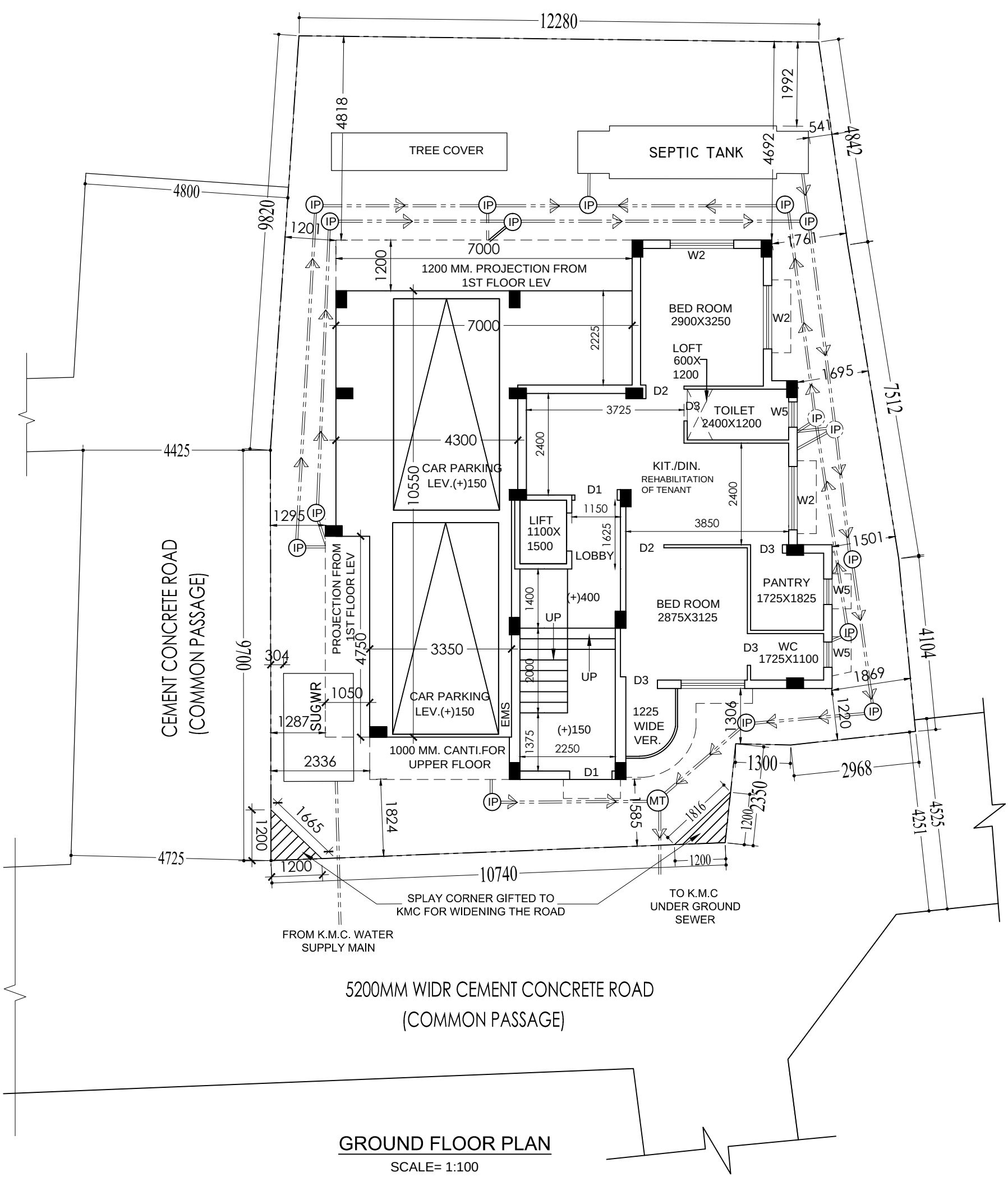




DOORS & WINDOW SCHEDULE			
MKD	SIZE	MKG	SIZE
D1	1000x2100	W1	1200x 1200
D2	900x2100	W2	1500x 1200
D3	750x2100	W3	600 x 750
		W4	1000 x 1000
		W5	600x600



NAME OF TENANT	EXISTING AREA	PROPOSED AREA
PRASANTA HALDER	74.322 SQM.	60.462 SQM.



SPECIFICATION

- UNLESS OTHERWISE SPECIFIED ALL DIMENSIONS ARE IN M. M.
- 75 TH. 1 HL CLASS B.F.S. IN FOUNDATION AND FLOOR.
- 200 TH. OUTER WALL WITH (1:6) SAND CEMENT MORTER AND 75125 THL PARTITION WALL WITH (1:4) SAND CEMENT MORTER.
- 75MM SREED CONCRETE WILL BE USING WATER PROOFING COMPOUND OVER 100 MM THK. R.C.C. ROOF.
- ALL CEILING AND R.C.C. PLASTER 12 mmTH. WITH (1:4) SAND CEMENT MORTER AND ALL WALL PLASTER 12mm TH. WITH (1:6) SAND CEMENT MORTER.
- ALL STEEL GRADE IS F415.
- ALL CONCRETE GRADE IS M20.
- ALL SHORTS OF PRECAUTIONARY MEASURES SHOULD BE TAKEN DURING CONSTRUCTION OF SEPTIC TANK AND RESERVOIR.
- ALL BUILDING MATERIALS WILL BE AS PER I.S. CODE AND N.B.C. RECOMENDATION.
- ALL FLOOR WILL BE PROVIDED MARBLE FINISH.

GEOTECHNICAL CERTIFICATE

UNDERSIGNED HAS INSPECTED THE SITE CARRIED OUT THE SOIL INVESTIGATION THEREIN. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION & THE FOUNDATION SYSTEM PROPOSED THEREIN IS SAFE & STABLE IN ALL RESPECT FROM GEO TECHNICAL POINT OF VIEW.

Signature of GEO-TECH ENGINEER
MR.KALLOL KUMAR GHOSHAL
G.T.E./11/49(K.M.C)

STRUCTURAL CERTIFICATE

CERTIFIED WITH FULL RESPONSIBILITY THAT THE STRUCTURAL DESIGN & DRAWINGS OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE G+III STORIED RESIDENTIAL BUILDING AT PREMISES NO.- 2073, SOUTH RAY NAGAR IN WARD NO.- 112 OF BOROUGH NO. XI, P.S.- BANSDRONI, KOLKATA - 700070 HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT.

THE DESIGN CALCULATION HAS BEEN MADE AS PER SOIL TEST REPORT DONE BY M/S TECHN SOIL OF GORKHARA,ARUNACHAL, SONARPUR,KOLKATA - 700150, RECOMMENDED AND SIGNED BY GEOTECH ENGINEER MR.KALLOL KUMAR GHOSAL.

MR.KALLOL KUMAR GHOSAL
E.S.E. NO. 1/261
Signature of STRUCTURAL ENGINEER

L.B.S. DECLARATION

CERTIFIED WITH FULL RESPONSIBILITY THAT THE G+III STORIED RESIDENTIAL BUILDING PLAN AT PREMISES NO.- 2073, SOUTH RAY NAGAR IN WARD NO.- 112 OF BOROUGH NO. XI, P.S.- BANSDRONI, KOLKATA - 700070 HAS BEEN DRAWN AS PER PROVISIONS OF THE KMC BUILDING RULES 2009, AS AMENDED FROM TIME TO TIME THAT THE SITE CONDITIONS, INCLUDING THE ABUTTING 4.425 (MAIN) ROAD IN THE NORTHERN SIDE & 5.250 M. (MIN.) WIDE BLACK TOP SURFACE ROAD ON THE WESTERN SIDE CONFORMS WITH THAT IN THE PLAN AND IT IS A BUILDABLE SITE AND NOT A TANK OR FILLED UP LAND.

SUDHANGSHU LAHIRI
L.B.S. NO. 329(I)
Signature of L.B.S.

L.B.S. DECLARATION

- I DO HEREBY UNDERTAKE WITH FULL RESPONSIBILITY THAT-
1. I SHALL ENGAGE L.B.S. & E.S.E. DURING CONSTRUCTION.
2. I SHALL FOLLOW THE INSTRUCTION OF L.B.S. & E.S.E. DURING CONSTRUCTION OF THE BUILDING(S) PER PLAN.
3. K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURE.
4. IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE, THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN.
5. THE CONSTRUCTION OF WATER RESERVOIR & SEPTIC TANK WILL BE CONSTRUCTED UNDER THE GUIDANCE OF L.B.S. / E.S.E. BEFORE STARTING OF BUILDING FOUNDATION WORK.
6. THE SITE IS PHYSICALLY IDENTIFIED BY US DURING THE SITE INSPECTION BY K.M.C. ENGINEER.
7. THE EXISTING STRUCTURE FULLY OCCUPIED BY ME AND THERE IS NO TENANT.

TAPAS NASKAR

Signature of Owner

BUILDING PERMIT NUMBER :- 2023110166

SANCTION DATE:- 28.08.2023

VALID UPTO:- 27.08.2028

DIGITAL SIGNATURE OF A/E/ BR -XI

STATEMENT OF PLAN PROPOSAL

A

1. ASSESSEE NO. - 31-112-19-1973 - 8

2. DETAILS OF DEED :-
BEING NO. - 160507280; BOOK NO. - I, VOL. NO. - 1605-2018; PGS:- 240460 TO 240478
YEAR -2018; DATED :- 30/11/2018; A.D.S.R. ALIPORE.

3. DETAILS OF REGD. BOUNDARY DECLARATION -
BEING NO. - 160303113; BOOK NO. - I, VOL. NO. - 1603-2023; PGS:- 92748 TO 92759
YEAR -2023; DATED :- 01/03/2023; FROM D.S.R.- III SOUTH 24 PARGANAS

4. DETAILS OF REGD. COMMON PASSAGE DECLARATION -
BOOK NO. - I, VOL. NO.- 1603-2023, PGS- 92737 TO 92747, BEING NO. -160303115
YEAR -2023; DATED :- 01/03/2023; FORM - D.S.R.-III SOUTH 24 PARGANA.

5. DETAILS OF REGD. SPLAYED CORNER -
BOOK NO. - I, VOL. NO.- 1603-2023, PGS- 194993 TO 195005, BEING NO. -160307036
YEAR -2023; DATED :- 19/05/2023; FORM - D.S.R.-III SOUTH 24 PARGANA.

6. DETAILS OF REGD. NON EVICTS OF TENENT -
BOOK NO. - I, VOL. NO.- 1603-2023, PGS- 92135 TO 92146, BEING NO. -160303114
YEAR -2023; DATED :- 29/02/2023; FORM - D.S.R.-III SOUTH 24 PARGANA.

CONVEASATION- MEMO NO: 17/41/CON- CERTIFICATE /BLLR/524PGS/2020
DATED:- 07/01/2021 AS BASTU.

7. AREA OF LAND
AS PER DEED (9K- 9CH-03 SFT) 236.573 SQM.
AS PER BOUNDARY DECLARATION 260.242 SQM.
AS PERBLURO 237.933 SQM.
AREA OF SPLAY CORNER 1.431 SQM.
NET LAND AREA 258.811 SQM.

6. NO. OF TENEMENTS - 7 NOS.

7. SIZE OF TENEMENT -
< 50 SQM. - 1 NOS.
50 SQM. TO 75 SQM. - 3 NOS.
75 SQM. TO 100 SQM. - 3 NOS.

B

- PERMISSIBLE GROUND COVERAGE (58.735 %) = 139.751 SQM.
- PROPOSED GROUND COVERAGE (56.061 %) = 133.385 SQM.
- PERMISSIBLE F. A. R. = 1.75
- PROPOSED F. A. R. = 1.743
- TOTAL COVERED AREA = 516.864 SQM.

AREA STATEMENT

FLOOR	TOTAL COVERED AREA IN m²	STAIR-STAIR LOBBY	STAIR DUCT	LIFT lobby	LIFT Well	NET FLOOR AREA IN m²
GROUND	116.700	10.744	---	1.869	NIL	104.087
FIRST	133.388	10.744	---	1.869	1.650	119.125
SECOND	133.388	10.744	---	1.869	1.650	119.125
THIRD	133.388	10.744	---	1.869	1.650	119.125
TOTAL	516.864	42.976	---	7.476	4.95	461.462

TENAMENT AREA

TENEMENT MARKED	TENEMENT SIZE in m²	Multiplication Factor	ACTUAL TENEMENT AREA INCLUDING PROP. AREA IN m²	No of Tenement	No of Car Required
G1	52.929	1.1423	60.462	1	2
F1.S1 & T1	66.069	1.1423	75.473	3	
F2.S2 & T2	52.015	1.1423	59.418	3	
TOTAL				2	

9. CALCULATION OF F.A.R

A.NET LAND AREA IN SQ.M		237.933 SQM.
TOTAL REQUIRED CAR PARKING	2	
TOTAL COVERED CAR PARKING PROVIDED	2	
PERMISSIBLE EXEMPTED AREA FOR CAR PARKING IN m²	50 SQM.	
ACTUAL CAR PARKING AREA IN m²	46.776 SQM.	
PERMISSIBLE F.A.R	1.75	
PROPOSED F.A.R	1.743	

10. STATEMENT FOR OTHER AREA				11. CALCULATION OF OTHER FEES	
FLOOR	LOFT m ²	CURBROAD m ²	LEDGE m ²	STAIR HEAD ROOM AREA	13.215 m ²
GR.FL.	720	0.00	0.00	LIFT MACHINE ROOM AREA	8.167 m ²
1ST.FL.	2.225	1.721	0.00	OVER HEAD RESERVOIR AREA	4.770 m ²
2ND.FL.	2.225	1.721	0.00	TREE COVER AREA	3.711 m ²
3RD.FL.	2.225	1.721	0.00	LIFT MACHINE ROOM STAIR AREA	2.850 m ²
TOTAL	7.395	5.163	0.00		

ARCHITECTURAL DRAWING

PROPOSED G+III STORIED RESIDENTIAL BUILDING

U/S 393A OF K.M.C. ACT 1980 UNDER BUILDING

RULE - 2009 VIDE OFFICE CIRCULAR NO. 02 OF

2020-21 DATED - 13/06/2020 AT PREMISES NO. -

2073, SOUTH RAY NAGAR IN WARD NO. - 112 OF

BOROUGH NO. XI, P.S.- BANSDRONI, KOLKATA :-

700070 UNDER THE KOLKATA MUNICIPAL

CORPORATION,