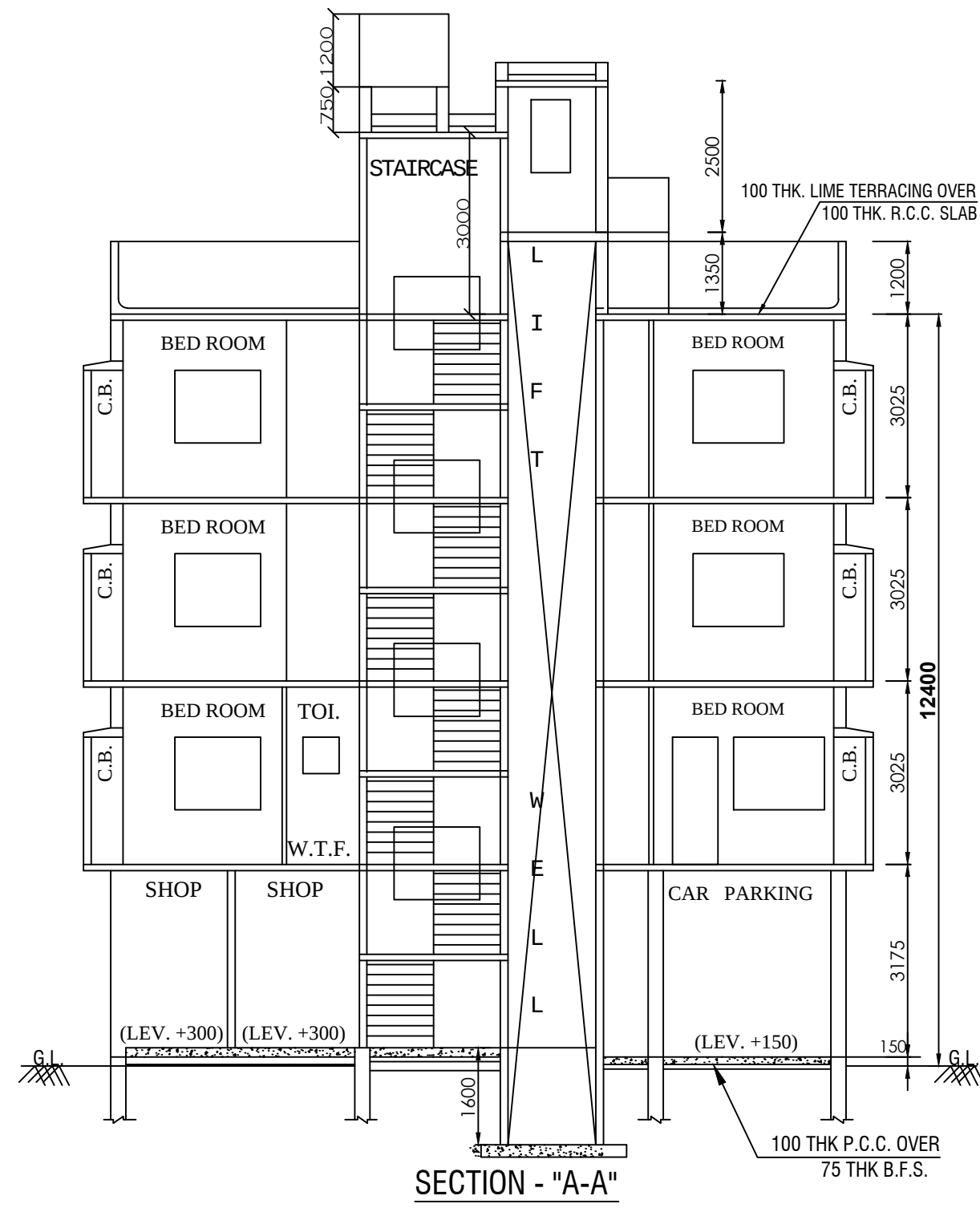




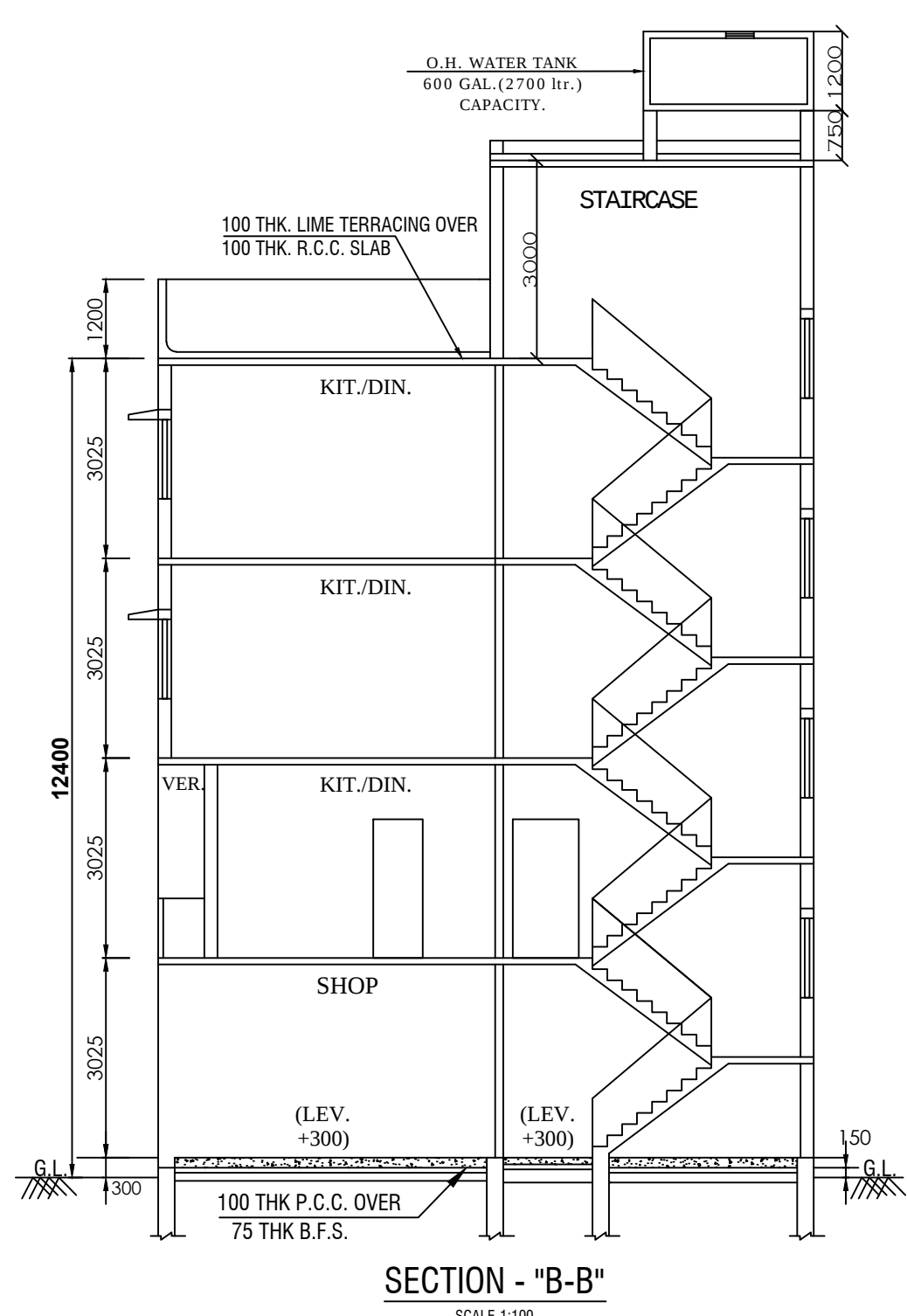
FRONT ELEVATION

BACK ELEVATION



SECTION - "A-A"

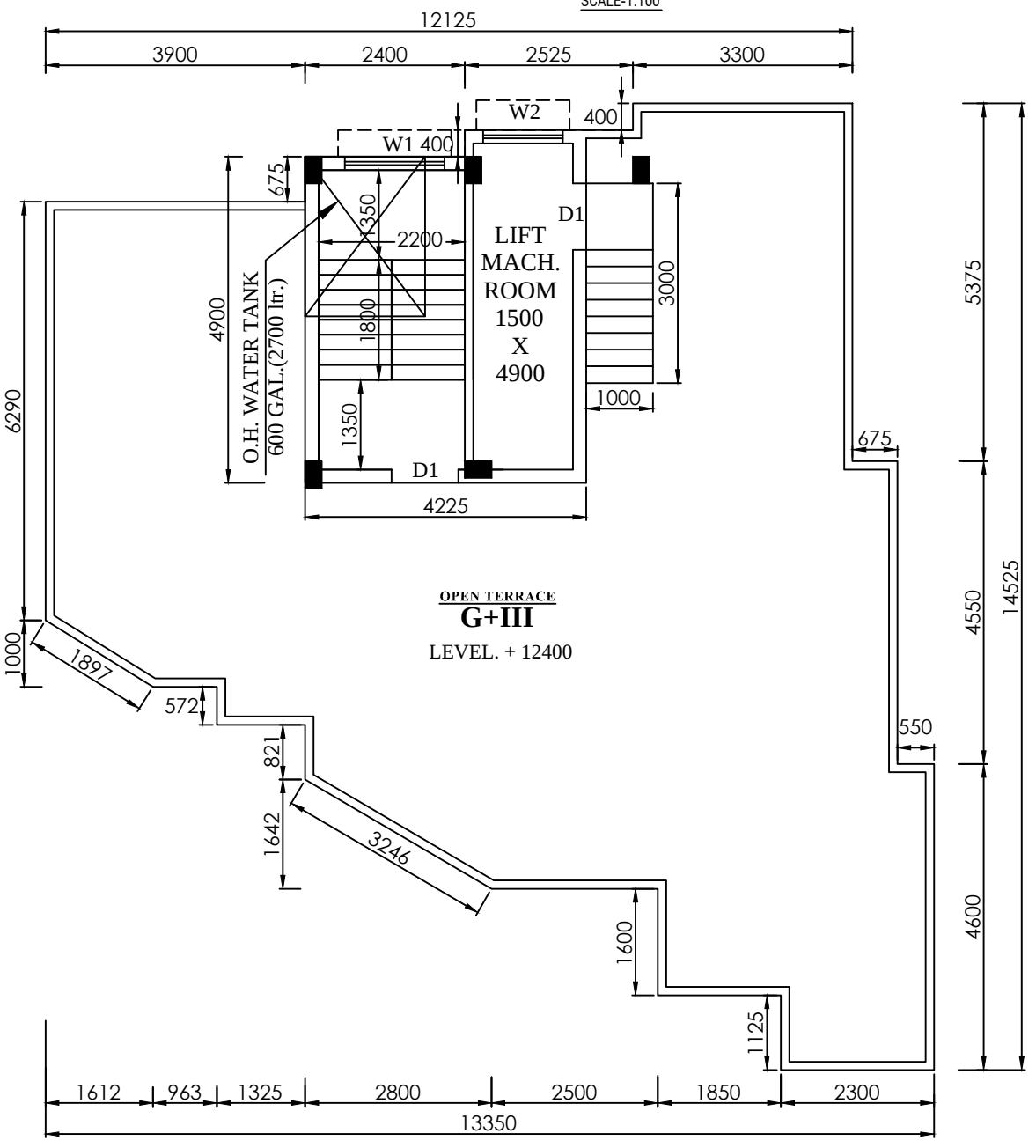
SCALE:1:100



SECTION - "B-B"

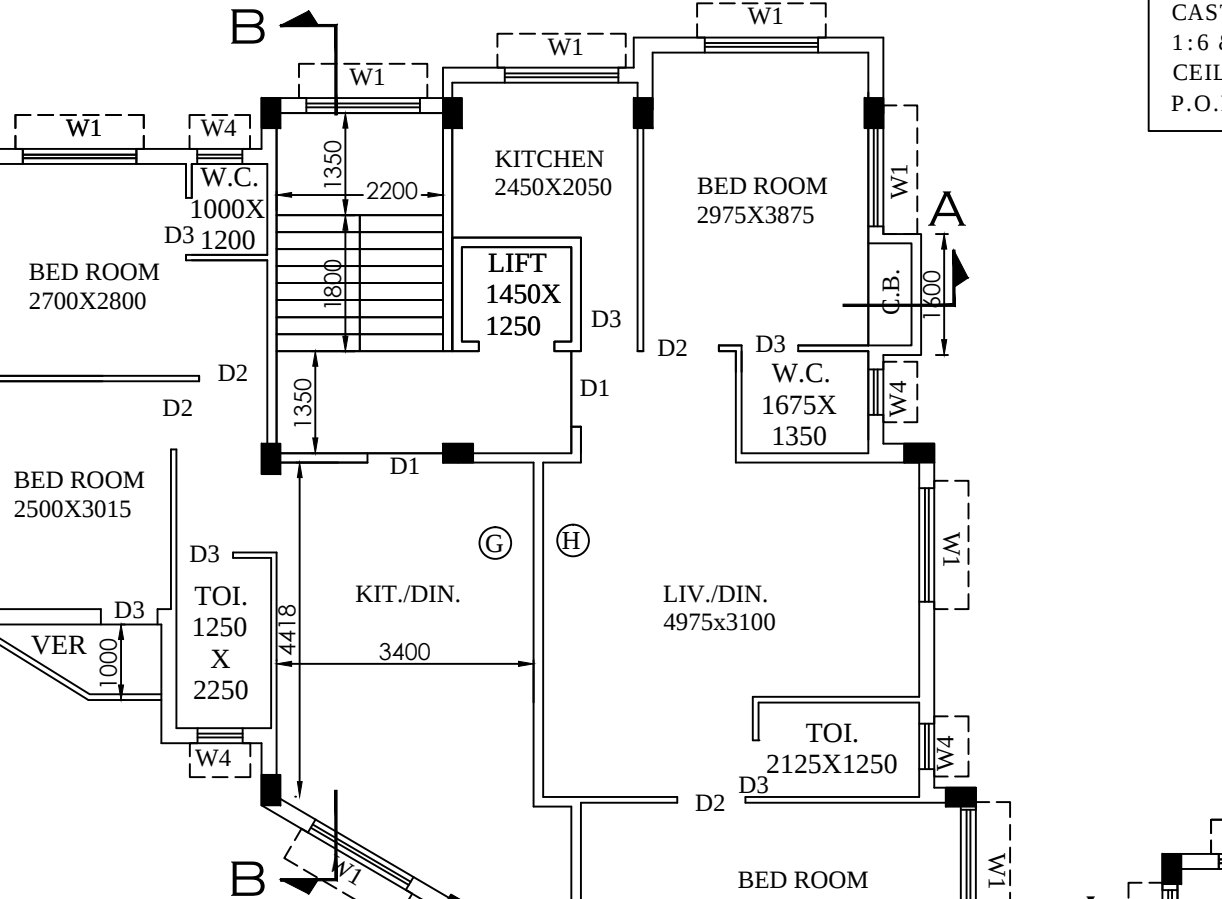
SCALE:1:100

SPECIFICATIONS					
R.C.C. FRAME STRUCTURE WITH CONC. GRADE 1:1.5:3. 200 M.M. THK. EXTERNAL 125 & 75 M.M. THK. INTERNAL WALLS WITH 1:4 CEMENT MORTAR JOINTS. STEEL Z- SECTION WINDOWS. CAST-IN-SITU MOSAIC FLOORING. 1:6 & 1:4 CEMENT PLASTER ON INTERNAL WALLS AND CEILING RESPECTIVELY. WATER PROOFING TREATMENT. P.O.P. PUNNING ON INTERNAL WALLS & CEILING.					
DOOR WINDOW SCHEDULE					
TYPE	WIDTH	HT.	TYPE	WIDTH	HT.
D	1050	2100	W1	1500	1200
D1	900	2100	W2	1200	1200
D3	750	2100	W3	1000	1200
			W4	600	600



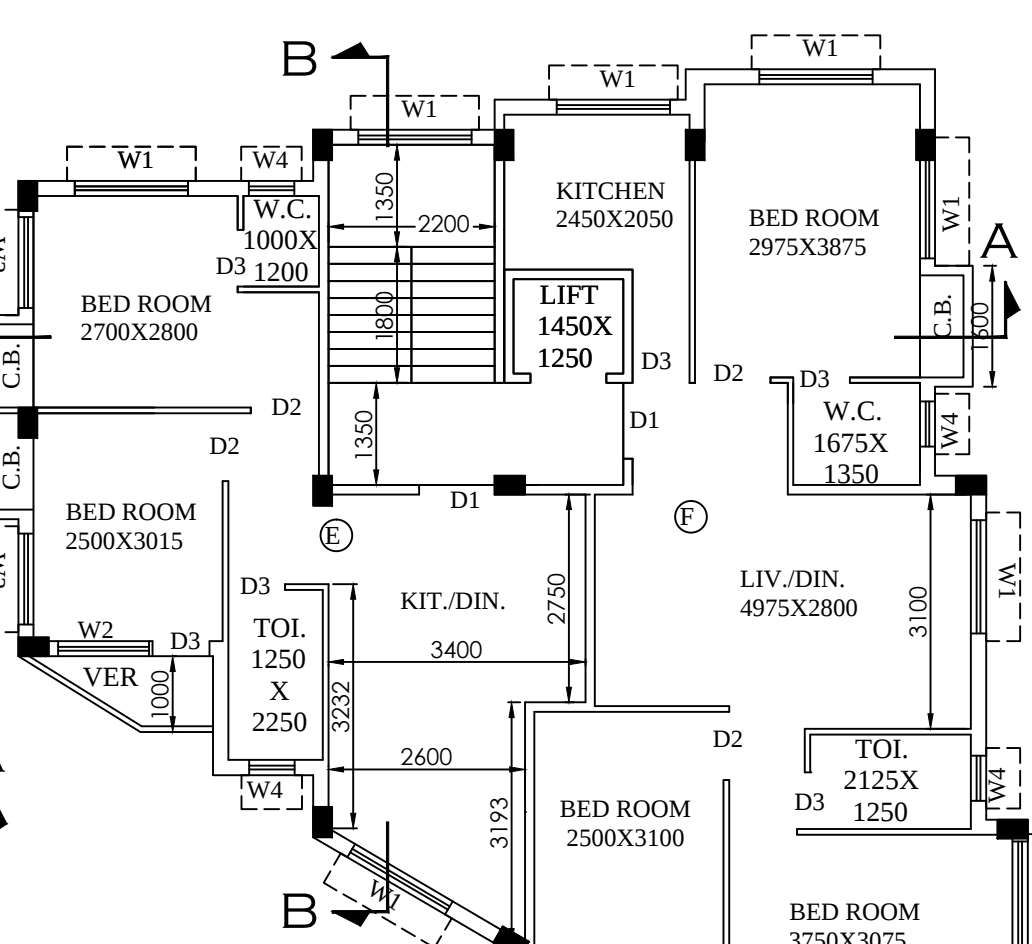
ROOF PLAN

SCALE:1:100



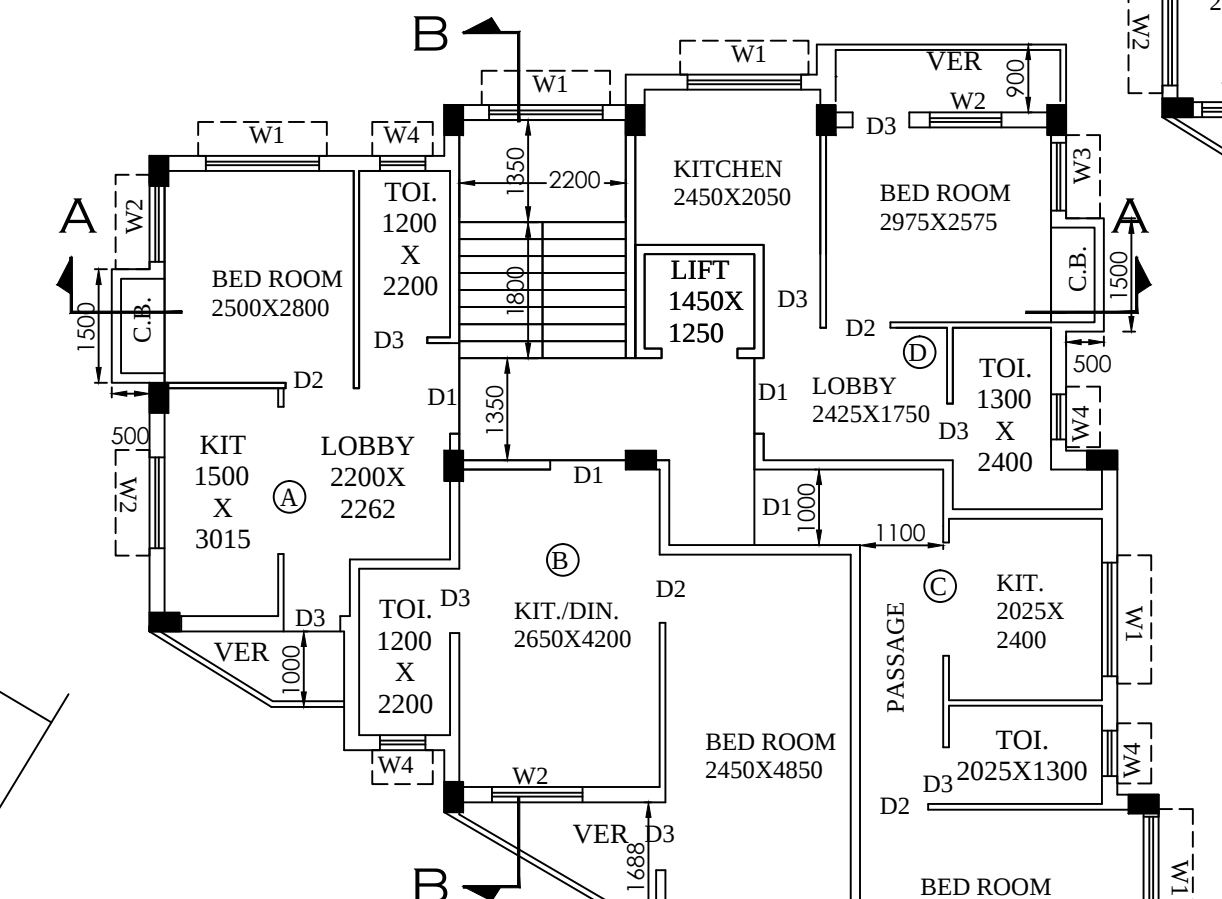
THIRD FLOOR PLAN

SCALE:1:100



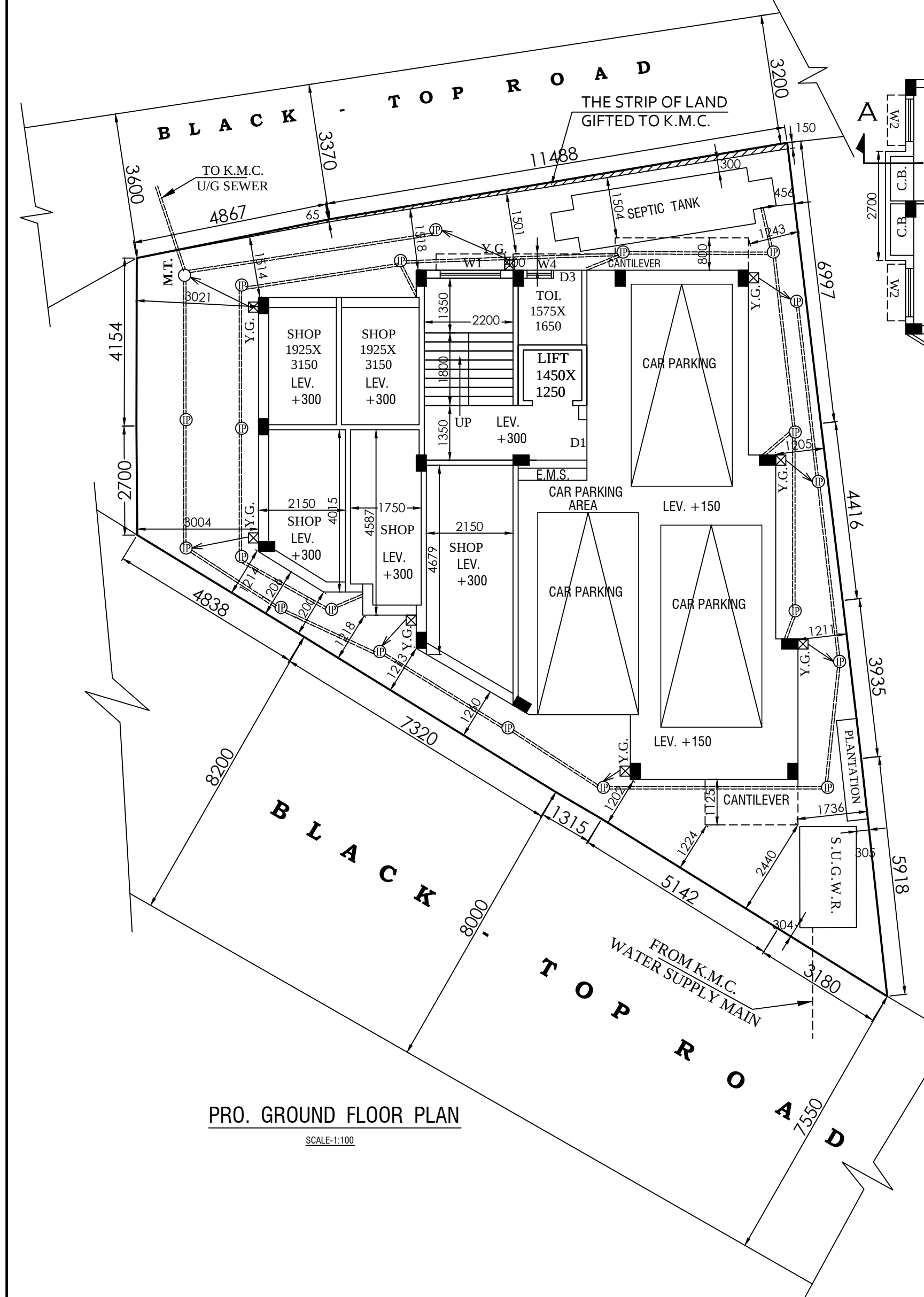
SECOND FLOOR PLAN

SCALE:1:100



FIRST FLOOR PLAN

SCALE:1:100



PRO. GROUND FLOOR PLAN

SCALE:1:100

GEO-TECHNICAL DECLARATION
UNDERSIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HEREIN IS SAFE AND STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

KALLOL KUMAR GHOSHAL
LICENCE NO. - GTE/II/14
NAME OF G. T. E.
CERTIFICATE OF STRUCTURAL ENGINEER
THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING SEISMIC LOAD AS PER N.B.C OF INDIA AND CERTIFIED THAT IT IS A SAFE AND STABLE IN ALL RESPECT.
THE RECOMMENDATIONS OF SOIL TEST REPORT PROPOSED BY KALLOL KUMAR GHOSHAL OF M/S TECHNO SOIL, CIT MARKET, JADAVPUR, KOLKATA, - 700032, HAS BEEN BE CONSIDERED DURING STRUCTURAL CALCULATION.
SAKTI BRATA BHATTACHARYYA
E.S.E.No.-116/I
NAME OF STRUCTURAL ENGINEER

B.P. NO. - 2022120145 DATED- 17-JUN-22
VALID UPTO- 16-JUN-27

STATEMENT OF THE PLAN PROPOSAL			
PART-A:			
1. ASSESSE NO: 31-101-19-0092-0	4. DETAIL OF REG. POWER OF ATTORNEY--	BOOK NO: 1, VOLUME NO.- 1630-2022, PAGES FROM 8135 TO 8179, BEING NO.- 163005644, D.S.R.- V, SOUTH 24 PARGANAS DATED- 06/01/2022.	
2. a) NAME OF THE OWNERS-- SMT SHOYA RANI MONDAL, SMT BABY MAJUMDAR, SMT CHHABI GHARAMI, SMT DEBI BISWAS, SMT TULITUL RUDRA PAUL & SRI DEBASISH MONDAL	5. DETAIL OF BOUNDARY REGISTERED DEED.	BOOK NO: 1, VOLUME NO.- 1604-2022, PAGES FROM 103187 TO 103200, BEING NO.- 160402823, D.S.R.- IV, SOUTH 24 PARGANAS DATED- 17/03/2022.	
2. b) NAME OF THE APPLICANTS:- SRI BISWAJIT SAHA, SRI BALARAM SAHA & SRI MANI LAL HALDER PARTNERS OF M/S TRINAYANI ENTERPRISE C.A. OF SMT SHOYA RANI MONDAL & 5 OTHERS.	6. DETAIL OF REG. STRIP OF LAND :-	BOOK NO: 1, VOLUME NO.- 1604-2022, PAGES FROM 103172 TO 103186, BEING NO.- 160402825, D.S.R.- IV, SOUTH 24 PARGANAS DATED- 17/03/2022.	
3. DETAIL OF REG. DEED - BOOK NO: 1, VOLUME NO.- 14, PAGES FROM 421 TO 421, BEING NO.-1731, A.D.R. ALIPORE, SOUTH 24 PARGANAS YEAR- 1991. (COLONY LAND)	7. DETAIL OF K.M.C. MUTATION CASE NO. -	O/101/04-MARCH-22/3149, DT. - 05/03/2022	

PART-B:	1. a) AREA OF LAND (AS PER TITLE DEED) :-	238.294 SQM. (03 K. - 09CH. - 00 SFT.)
	b) NET AREA OF LAND (AS PER BOUNDARY DECL.) :-	238.294 SQM.
	2. a) AREA OF STRIP OF LAND :-	1.392 SQM.
	b) AREA OF SPAYED CORNER :-	NIL
	3. PERMISSIBLE GROUND COVERAGE :-	139.935 SQM. = 58.724 %
	4. PROPOSED GROUND COVERAGE :-	134.804 SQM. = 56.570 %

5. PROPOSED AREA :-		TOTAL EXEMPTED AREA				NET FLOOR AREA
FLOOR WISE	TOTAL FLOOR AREA	STAIR + STAIR LOBBY	STAIR VOID AREA	LIFT + WELL AREA	LIFT + LOBBY AREA	TOTAL
GROUND FLOOR	128.567 SQM.	9.900 SQM.	—	—	2.194 SQM.	116.473 SQM.
FIRST FLOOR	134.804 SQM.	9.900 SQM.	—	1.813 SQM.	2.295 SQM.	120.796 SQM.
SECOND FLOOR	134.804 SQM.	9.900 SQM.	—	1.813 SQM.	2.295 SQM.	120.796 SQM.
THIRD FLOOR	134.804 SQM.	9.900 SQM.	—	1.813 SQM.	2.295 SQM.	120.796 SQM.
TOTAL	532.979 SQM.	39.60 SQM.	—	5.439 SQM.	9.079 SQM.	478.861 SQM.

6. PARKING CALCULATION :- A)	TENEMENT AREA	AREA TO BE ADDED	TOTAL AREA	TENEMENT NO.	REQUIRED PARKING
A	26.374 SQM.	4.510 SQM.	30.884 SQM.	1 NO.	2 NOS.
B	31.917 SQM.	5.458 SQM.	37.375 SQM.	1 NO.	
C	31.906 SQM.	5.456 SQM.	37.362 SQM.	1 NO.	
D	28.234 SQM.	4.828 SQM.	33.062 SQM.	1 NO.	
E	47.272 SQM.	8.084 SQM.	55.356 SQM.	1 NO.	
F	72.424 SQM.	12.385 SQM.	84.809 SQM.	1 NO.	
G	50.806 SQM.	8.688 SQM.	59.494 SQM.	1 NO.	
H	68.891 SQM.	11.780 SQM.	80.671 SQM.	1 NO.	
CARPET AREA OF SHOP :-	39.619 SQM.				

6. B) NOS. OF PARKING PROVIDED - COVERED = 2 NOS.	
6. C) PERMISSIBLE AREA FOR PARKING AT GROUND FLOOR - 2 X 25 = 50 SQM.	
6. D) ACTUAL AREA OF PARKING PROVIDED AT GROUND FLOOR = 65.846 SQM.	
7. PERMISSIBLE F.A.R. = 2.00	
8. PROPOSED F.A.R. = 478.861 / 50 = 9.577	
9. STAIRCOVER AREA IN ROOF :-	12.373 SQM.
10. ROOF TANK AREA :-	4.320 SQM.
11. CUP BOARD AREA :-	8.600 SQM.
12. L.M.R. AREA :-	9.060 SQM.
13. L.M.R. STAIR AREA :-	3.000 SQM.
14. ADDITIONAL AREA FOR FEES :-	39.033 SQM.
15. CARPET AREA OF SHOP :-	39.619 SQM.
16. COVERED AREA OF SHOP :-	42.818 SQM.
17. TREE COVER AREA :-	1.250 SQM.
18. TOTAL AREA FOR FEES :-	560.572 SQM.

DECLARATION OF L.B.S.
CERTIFIED THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES 2009 AS AMENDED FROM TIME TO TIME AND THAT THE SITE CONDITION INCLUDING THE WIDTH OF BUTTING ROAD CONFORM WITH THE PLAN WHICH HAS BEEN MEASURED AND VERIFIED BY ME. IT IS A BUILDABLE SITE AND NOT A TANK OR FILLED UP TANK.
CONSTRUCTION OF U.G. WATER TANK AND SEPTIC TANK WILL BE COMPLETED BEFORE STARTING OF BUILDING FOUNDATION WORK.
THE PLOT IS WITHIN 500 M. FROM THE CENTRE LINE OF E.M. BYE-PASS.
THE PLOT IS DEMARCATED BY BOUNDARY WALL.
WIDTH OF ROAD - 7.550 M. & 3.200 M. BLACK - TOP ROAD
SIGNATURE OF OWNER CONFIRMED BY ME.

DECLARATION OF OWNER
WE DO HERE BY DECLARE WITH FULL RESPONSIBILITY THAT, WE SHALL ENGAGE L.B.S & E.S.E. DURING CONSTRUCTION. WE SHALL FOLLOW THE INSTRUCTION OF L.B.S & E.S.E. DURING CONSTRUCTION OF THE BUILDING (AS PER PLAN) K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURE IF ANY SUBMITTED DOCUMENT ARE FAKE. THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF U.G.W.R & SEPTIC TANK TAKEN UNDER THE GUIDANCE OF L.B.S./E.S.E BEFORE STARTING OF BUILDING FOUNDATION.
SRI BISWAJIT SAHA, SRI BALARAM SAHA & SRI MANI LAL HALDER PARTNERS OF M/S TRINAYANI ENTERPRISE C.A. OF SMT SHOYA RANI MONDAL & 5 OTHERS.

NAME OF OWNER
PROPOSED G+THREE STORIED (HT.-12.400 MT.)
RESIDENTIAL BUILDING U/S 393 A OF K.M.C. ACT 1980
COMPLYING B/R 2009 AT- 92, RABINDRAPALLY BLOCK C, WARD NO.-101, BOROUGH NO.-XII, UNDER R.S. DAG NO. - 101(P) & 267 (P), R.S. KHATIAN NO - 162, MOUZA - PATULI, J.L. NO. - 29, P.S. - PATULI.

NOT APPLICABLE
DIGITAL SIGNATURE OF E.E.

DIGITAL SIGNATURE OF A.E.