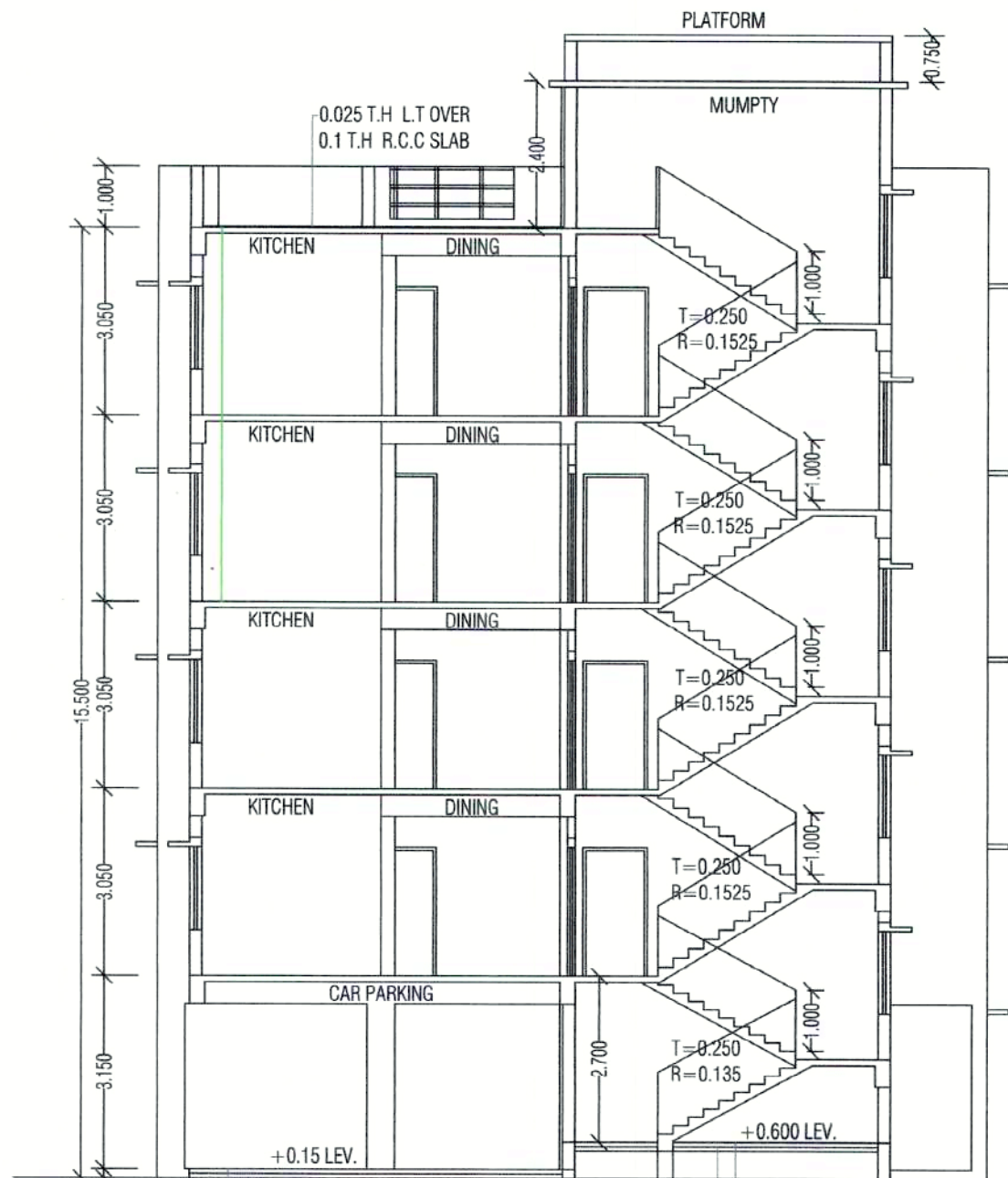




FRONT ELEVATION

SCALE = 1:1

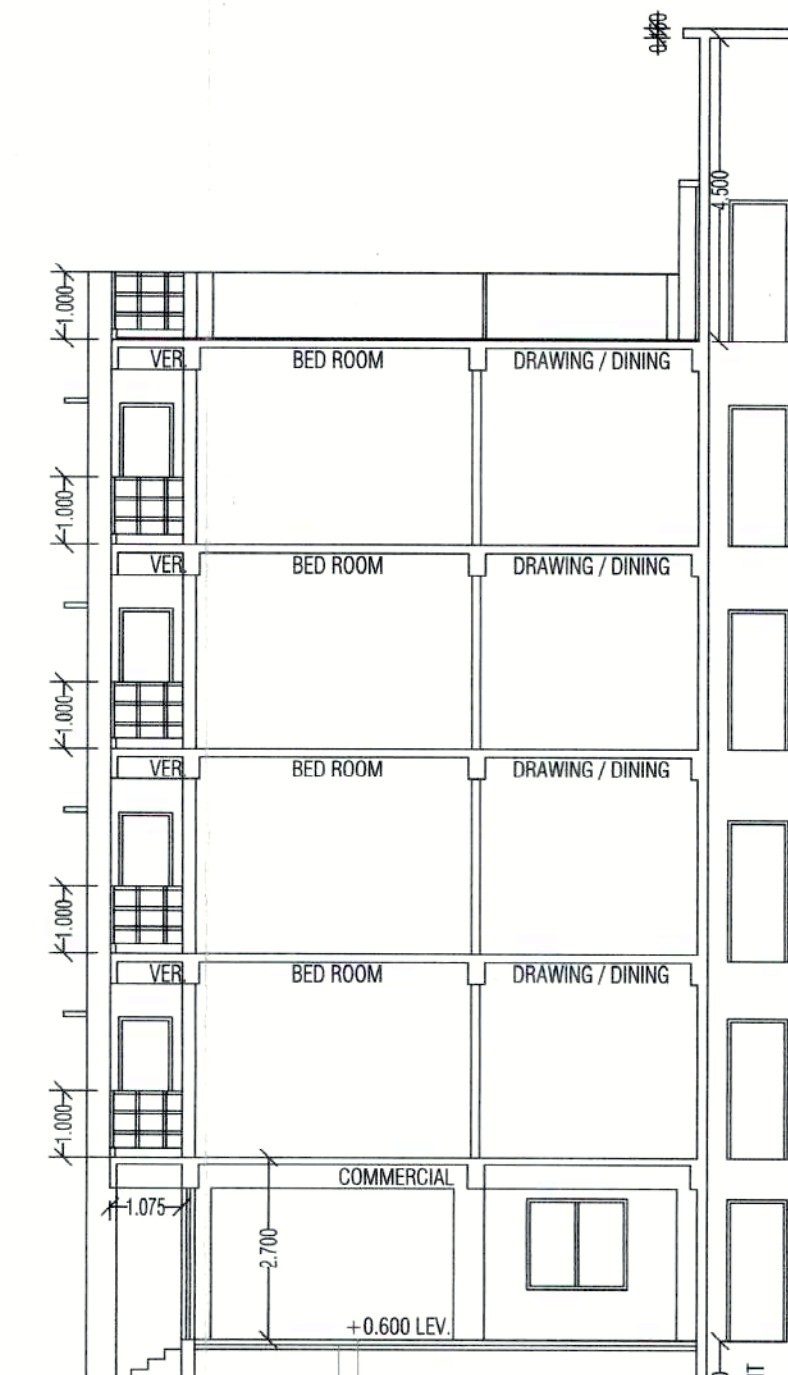
PARAPET
+16.500 LEV.
ROOF
+15.500 LEV.
4TH FLOOR
+12.450 LEV.
3RD FLOOR
+9.400 LEV.
2ND FLOOR
+6.350 LEV.
1ST FLOOR
+3.300 LEV.
P.L.
+0.600 LEV.
+0.0 LEV.



SECTION AT-A-A'

SCALE = 1:1

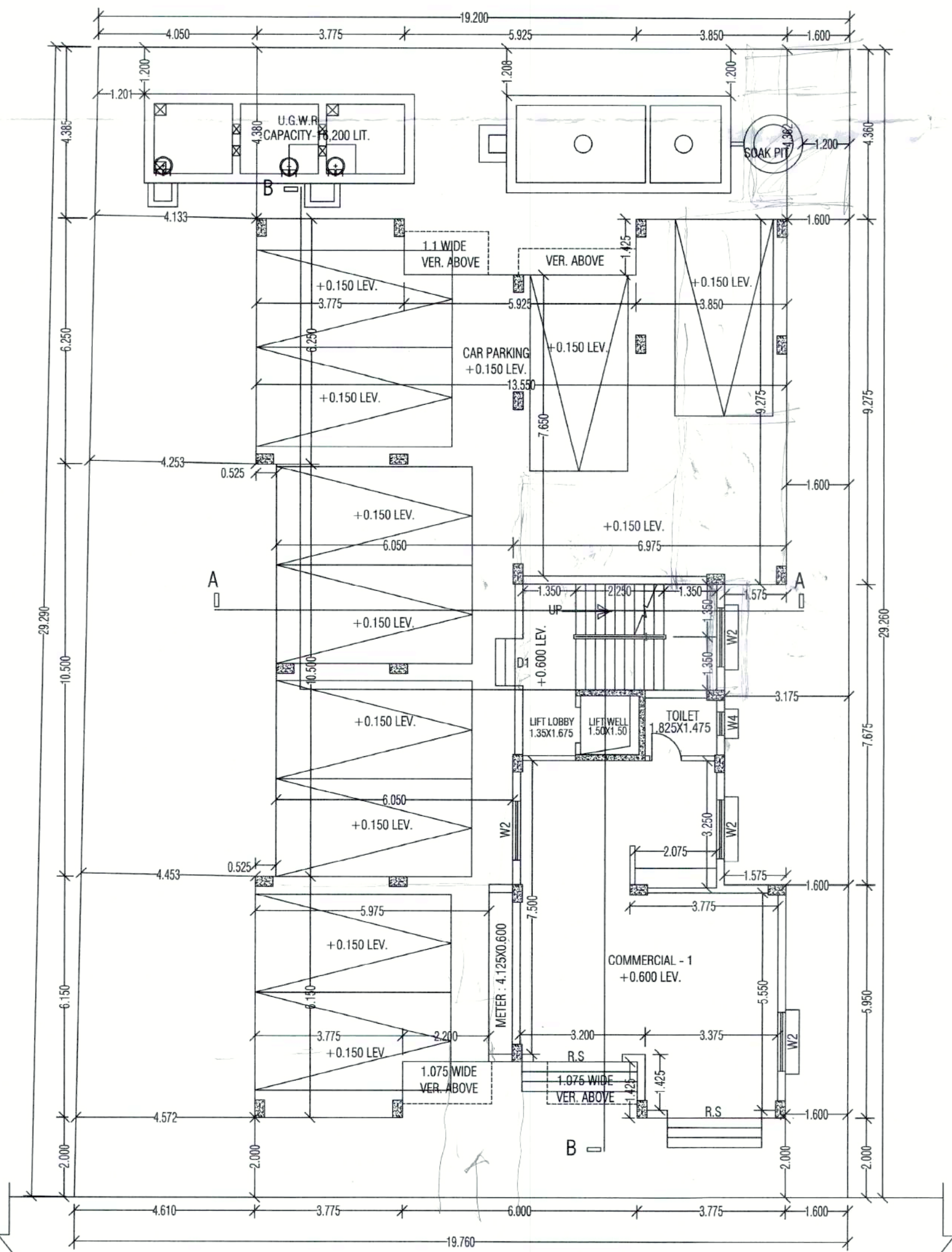
PARAPET
+16.500 LEV.
ROOF
+15.500 LEV.
4TH FLOOR
+12.450 LEV.
3RD FLOOR
+9.400 LEV.
2ND FLOOR
+6.350 LEV.
1ST FLOOR
+3.300 LEV.
P.L.
+0.600 LEV.
+0.0 LEV.



SECTION AT-B-B'

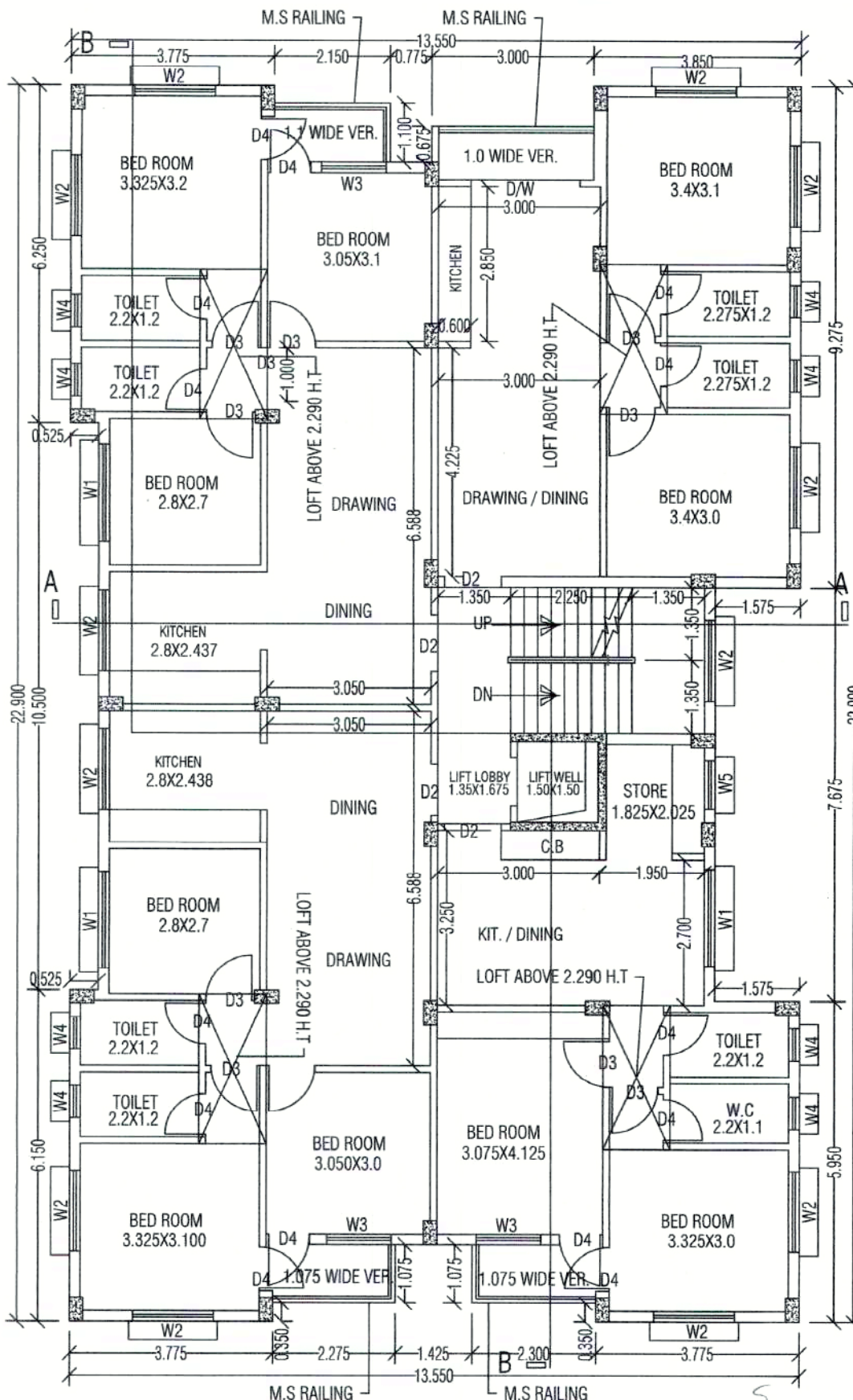
SCALE = 1:1

PARAPET
+16.500 LEV.
ROOF
+15.500 LEV.
4TH FLOOR
+12.450 LEV.
3RD FLOOR
+9.400 LEV.
2ND FLOOR
+6.350 LEV.
1ST FLOOR
+3.300 LEV.
P.L.
+0.600 LEV.
+0.0 LEV.



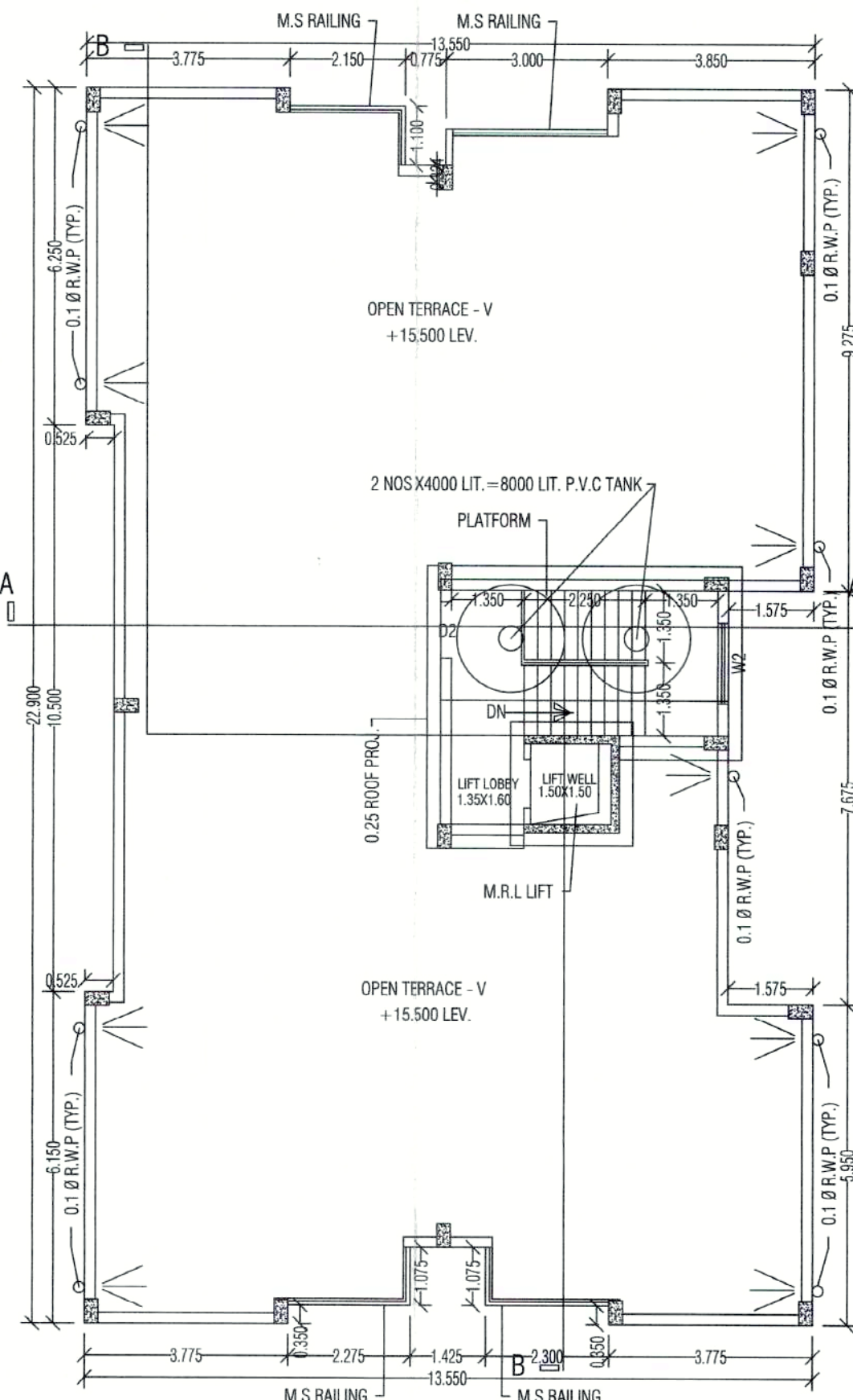
GROUND FLOOR PLAN

SCALE = 1:1



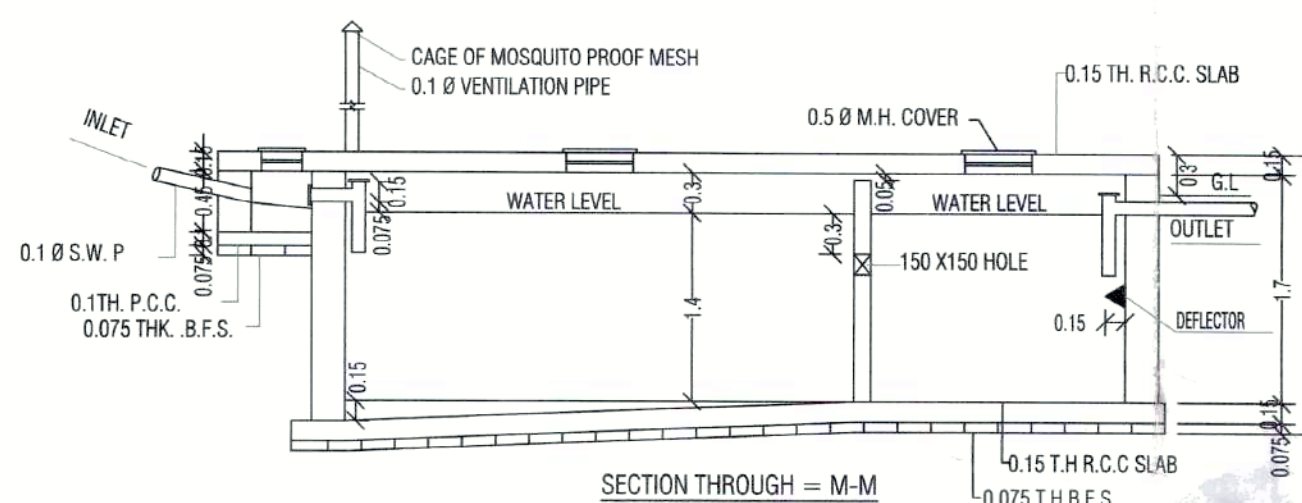
1ST, 2ND, 3RD & 4TH FLOOR PLAN

SCALE = 1:1



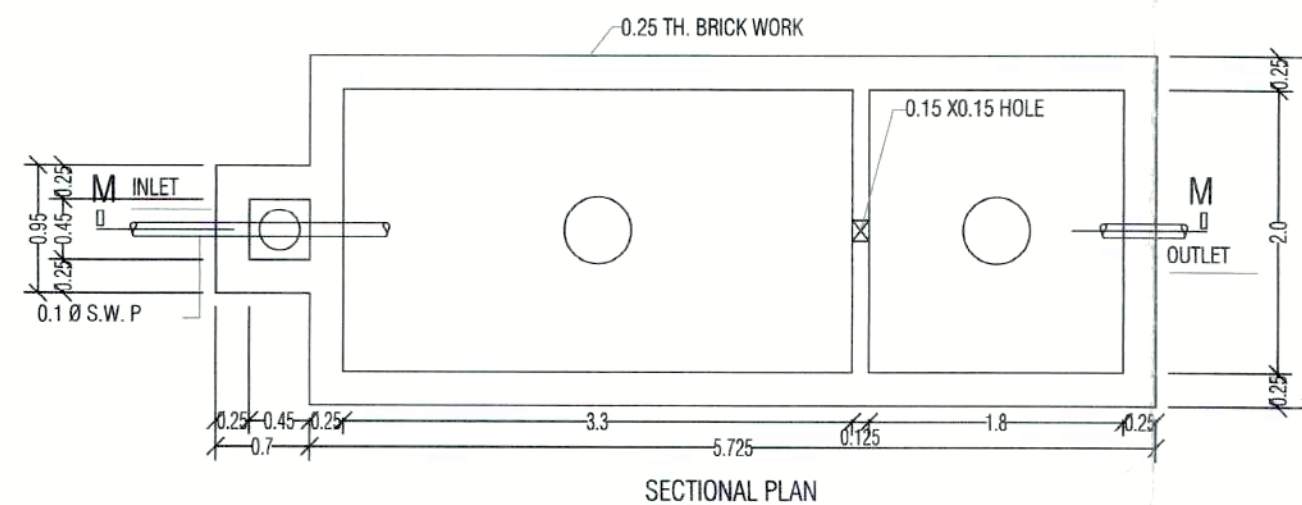
ROOF PLAN

SCALE = 1:1



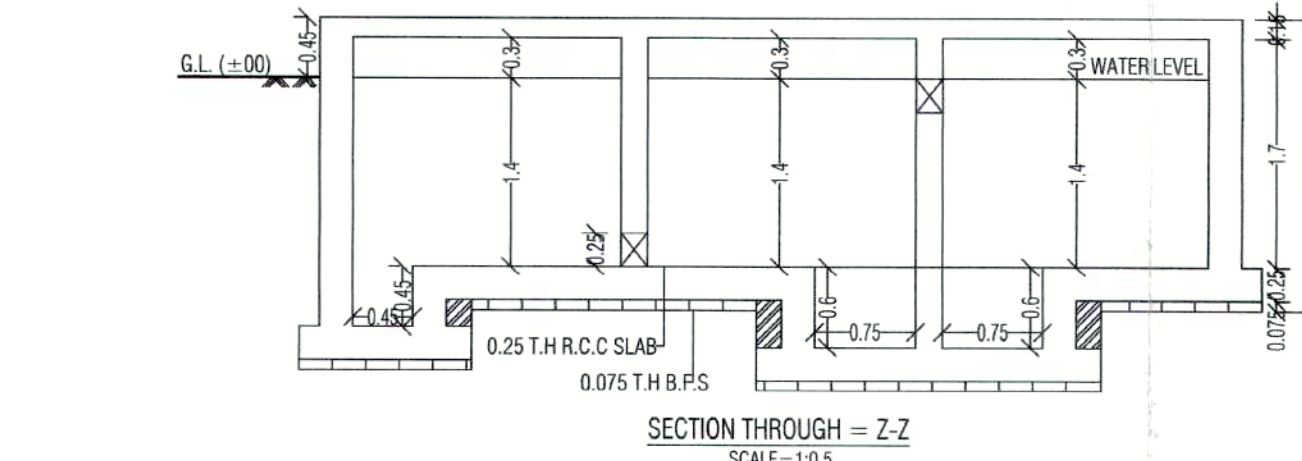
SECTION THROUGH - M-M

SCALE = 1:1



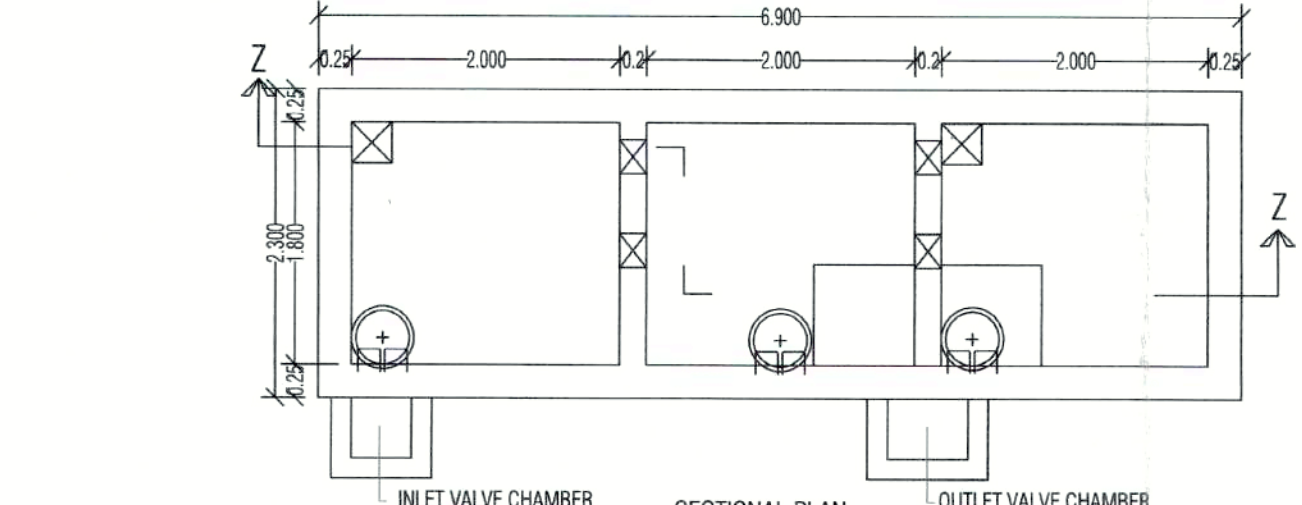
SECTIONAL PLAN

SCALE = 1:1



SECTION THROUGH - Z-Z

SCALE = 1:1



SECTIONAL PLAN

SCALE = 1:1

CERTIFICATE OF OWNER

CERTIFIED THAT I HAVE GONE THROUGH THE BIDHANNAGAR MUNICIPAL CORPORATION BUILDING RULES AND UNDERTAKE TO ABIDE BY THOSE RULES DURING & AFTER THE CONSTRUCTION OF THE BUILDING AND I WILL NOT ON LATER DATE MAKE ANY ADDITION OR ALL TO THIS PLAN.

Signature of Owner

CHINMOY KR. SAHOO

M.C.E., F.I.E.

Chartered Civil Engineer,

Empd. Struc. Engg. of K.M.C.

ESE-1229

SIGNATURE OF OWNER

CERTIFICATE OF ARCHITECT & ENGINEER

CERTIFIED THAT THE PLAN HAS BEEN INSPECTED PERSONALLY AND STRUCTURE OF THE BUILDING HAS BEEN DESIGNED BY ME AS TO BE SAFE IN ALL RESPECT INCLUDING CONSIDERATION OF BEARING CAPACITY AND SETTLEMENT OF SOIL ON THE BASIS OF RECOMMENDATION OF GEOTECHNICAL ENGG. ALSO THAT THE PLAN HAS BEEN DESIGNED AND DRAWN UP STRICTLY ACCORDING TO THE BUILDING RULES OF BIDHANNAGAR MUNICIPAL CORPORATION.

Signature of Architect & Engineer

CHINMOY KR. SAHOO

M.C.E., F.I.E.

Geo-Technical Engineer,

GTER/NKDA/10/0052

SIGNATURE OF GEOTECH. ENGG.

SIGNATURE OF ARCHITECT

STATEMENT : DOORS & WINDOWS

TYPE	WIDTH	HEIGHT	TYPE	WIDTH	HEIGHT
D1	1.200	2.100	W1	1.800	1.350
D2	1.050	2.100	W2	1.500	1.350
D3	0.900	2.100	W3	1.200	1.350
D4	0.800	2.100	W4	0.800	0.900
			W5	0.900	1.050

AREA STATEMENT :-

1. PLOT AREA : AS PER DEED = 15.18 DEC. = 614.25 SQ.M
2. PLOT AREA : AS PER PHYSICAL = 14.092 DEC. = 570.23 SQ.M
3. PER. BUILDING HEIGHT FROM ROAD LEVEL = 15.5 M
4. PROP. BUILDING HEIGHT FROM ROAD LEVEL = 15.5 M
5. PERMISSIBLE GROUND COVERAGE (50%) = 285.115 SQ.M
6. PROPOSED GROUND COVERAGE = 285.01 sqm (49.98%)
7. PROP. GROUND FLOOR AREA (EXCLUDING 1 STAIR) = 262.33 sqm
8. PROP. 1ST FLOOR AREA (EXCLUDING 1 STAIR + 1 LIFT + LIFT LOBBY) = 267.32 sqm
9. PROP. 2ND FLOOR AREA (EXCLUDING 1 STAIR + 1 LIFT + LIFT LOBBY) = 267.32 sqm
10. PROP. 3RD FLOOR AREA (EXCLUDING 1 STAIR + 1 LIFT + LIFT LOBBY) = 267.32 sqm
11. PROP. 4TH FLOOR AREA (EXCLUDING 1 STAIR + 1 LIFT + LIFT LOBBY) = 267.32 sqm
12. TOTAL FLOOR AREA = 1331.61 SQ.M
13. PER. COMMERCIAL AREA 10% = 133.161 SQ.M
14. GR. FLOOR COMMERCIAL AREA = 57.88 SQ.M
15. PROP. COMMERCIAL AREA 4.34% = 57.88 SQ.M
16. METER SPACE AREA = 2.47 SQ.M
17. REQUIRED PARKING FOR RESIDENTIAL (8+9+10+11) = 1069.28 / 120 = 8.91 = 9 NOS.
18. REQUIRED PARKING FOR COMMERCIAL (IN GR. FL.) = 57.88/100 = 0.57 = 1 NOS.
19. TOTAL REQUIRED PARKING = 9+1 = 10 NOS.
20. PROVIDED CARPARKING (COVERED = 10) = 10 NOS.
21. DEDUCTION FOR 10 NOS. CAR PARKING AREA = 193.75 SQ.M
22. PERMISSIBLE F.A.R = 2.0
23. PROPOSED F.A.R = $\frac{1331.61}{100} = 13.3161$

PROJECT :-

PROPOSED ARCHITECTURAL PLAN OF G+4 STORIED RESIDENTIAL BUILDING OF SRI. MRITYUNJAY NASKAR, SRI. BRINDABAN MONDAL & OTHERS AT MOLUZA- MOHISHGOT, R.S DAG NO. 479, K.H NO. 477/1.552/1.375, 17, 1490, 1489, 1485, J.L NO. 20, P.S - RAJARHAT, UNDER BIDHANNAGAR MUNICIPAL CORPORATION, DIST. NORTH 24 PGS, PIN-700102.

NOTES:-

- ALL DIMENSIONS ARE IN MM
- ALL EXTERNAL WALL ARE 0.2 THK.
- ALL INTERNAL WALLS ARE 0.125 THK. UNLESS MENTIONED
- ALL CHALLAS ARE 0.35 PROJECTED FROM WALL

TITLE :- GR. 1ST, 2ND, 3RD & 4TH FLOOR PLAN, ELEVATION & SECTION, SITE PLAN, DETAILS OF U.G.R. & SEPTIC TANK

DRAWN BY: S.P.

DWG NO. - AR1

CHECKED BY: DELTA CONSULTANTS

SCALE: 1:1, 1:5, 1:0.5

DATE: - 08.08.2022

DELTA CONSULTANTS

CONSULTING ENGINEERS | ARCHITECTS

PROJECT MANAGEMENT

C-1, SALT LAKE CITY, KOLKATA 700 064.

Tel: 9830471, 90071 88937

Email: deltaconsultants@gmail.com

Website: deltaconsultants.org