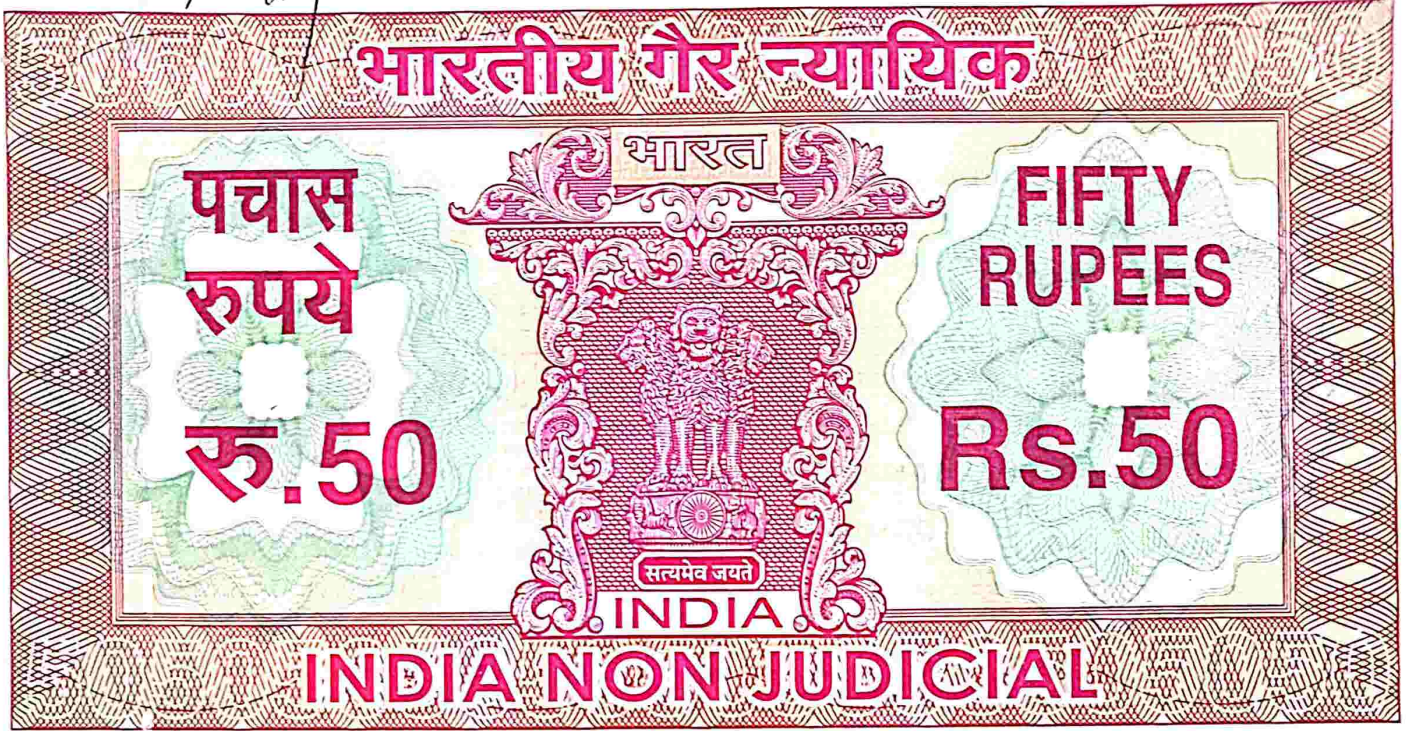


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8. 172/19



पश्चिम बंगाल पश्चिम बंगाल WEST BENGAL

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Certified that the document is admitted to registration. The signature sheet/s and the endorsement sheet/s attached with this document are the part of this document

Additional District Sub-Registrar,
Garia South 24 Parganas

01 FEB 2019

**GENERAL POWER OF ATTORNEY
AFTER JOINT VENTURE AGREEMENT**

KNOW ALL MEN BY THIS POWER OF ATTORNEY WE, 1. SMT. APARNA GANGULY PAN. BHCPG3221P, wife of Sri Shyamal Ganguly and 2. SMT. SUDIPTA BASU PAN. BMRPB1558C, wife of Late Netai Basu, both by faith Hindu, No.1 residing at Fartabad Ganguly Para, P.O-Garia, P.S- Formerly Sonarpur at present Garia, Kolkata- 700084, Dist- 24- Parganas(s) and No.2 residing at Fartabad Katherbari, P.O-Garia, P.S- Formerly Sonarpur at present Garia,, Kolkata-700084, Dist-24-Parganas(s), hereinafter referred to as the PRINCIPAL, SEND GREETINGS.

1029 31/01/19

স্বাক্ষর K S Mondal (Adv)
Alipore Judges' Court

K127

তাপস হানদার ট্যাক্স ভেদার
সোনরপুর, এ্যা.ডি.সাব রেজিস্ট্রার অফিস

১৯৭৮ ১৫/১০/১৮



Additional District Sub-Registrar,
Garia South 24 Parganas

FEB 2019

Milan Biswas
S/o. Swapan Biswas
Alipore Judge Court
Kolkata - 22.

WHEREAS

1. **ALL THAT** the bastu land measuring 3 cottahs 4 Chittaks 36 sq.ft. be the same a little more or less, together with 100sq.ft. Tiles shed structure standing thereon comprised in R.S.Dag No.3018, R.S.Khatian No. 186 of Mouza -Barhansfartabad, J.L. No.47, R.S.NO.7, P.S. -Sonarpur, within Rajpur Sonarpur Municipality , being Municipal Holding No. 2805, Under Ward No. 29, in the district 24 Parganas (South) was acquired by Sri Samir Banerjee and Sri Mihir Banerjee both residing at Nayabazar , Dhanbad, P.O- Dhanbad, P.S- Bankmore Dist- Dhanbad, PIN- 826001 by a register deed of sale dated 28/07/2006 from Smt. Aparna Ganguly wife of Sri Shyamal Ganguly of Fartabad Ganguly Para, P.O-Garia, P.S-Sonarpur, Kolkata-700084,duly registered before in the District Sub-Registrar IV, Alipur and recorded in Book No. 1, Volume No. 18 at Pages 631 to 645 being the Deed No.02803 for the year 2007.

2. After such purchase said Sri Samir Banerjee and Sri Mihir Banerjee while seized and possessed the said property by a register deed of sale dated 16/10/2015 said Sri Samir Banerjee alias Samiran Banerjee and Sri Mihir Banerjee both residing at Nayabazar , Dhanbad, P.O- Dhanbad, P.S- Bankmore Dist- Dhanbad, PIN- 826001 both represented by their attorney **Smt. Saswati Basu** daughter of Late Netai Basu residing at Fartabad Katherbari, P.O-Garia, P.S-Sonarpur, Kolkata- 700084, Dist- 24- Parganas(s) and **Sri Mangol Ganguly** son of Late Satish Chandra Ganguly residing at Fartabad Ganguly Para, P.O-Garia, P.S-Sonarpur, Kolkata- 700084, Dist- 24- Parganas(s) sold conveyed and transferred the said property in favour of us the present Owners herein 1. **Smt. Aparna Ganguly** and 2. **Smt. Sudipta Basu** duly registered before in the District Sub-Registrar IV, Alipur and recorded in Book No. 1, Volume No. 1604 at Pages 90924 to 90949 being the Deed No. 160407543 for the year 2015.

3. After such purchase the present owners have become the absolute owner of the said bastu land measuring 3 cottahs 4 Chittaks 36 sq.ft. be the same a little more or less together with 100sq.ft. Tiles shed structure standing thereon, comprised in R. S.Dag No.3018, R.S.Khatian No. 186 of Mouza Barhansfartabad, J.L. No.47, R.S.No.7, P.S-Sonarpur, within Rajpur Sonarpur Municipality , being Municipal Holding No. 2805, Under Ward

07 FEB 2017

WHEREAS

1. **ALL THAT** the bastu land measuring 3 cottahs 4 Chittaks 36 sq.ft. be the same a little more or less, together with 100sq.ft. Tiles shed structure standing thereon comprised in R.S.Dag No.3018, R.S.Khatian No. 186 of Mouza -Barhansfartabad, J.L. No.47, R.S.NO.7, P.S. -Sonarpur, within Rajpur Sonarpur Municipality , being Municipal Holding No. 2805, Under Ward No. 29, in the district 24 Parganas (South) was acquired by Sri Samir Banerjee and Sri Mihir Banerjee both residing at Nayabazar , Dhanbad, P.O- Dhanbad, P.S- Bankmore Dist- Dhanbad, PIN- 826001 by a register deed of sale dated 28/07/2006 from Smt. Aparna Ganguly wife of Sri Shyamal Ganguly of Fartabad Ganguly Para, P.O-Garia, P.S-Sonarpur, Kolkata-700084,duly registered before in the District Sub-Registrar IV, Alipur and recorded in Book No. 1, Volume No. 18 at Pages 631 to 645 being the Deed No.02803 for the year 2007.

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Additional District Sub-Registrar,
Garia South 24 Parganas

11 FEB 2019

No. 29, in the district 24 Parganas (South) more fully described in the schedule hereunder written.

We the aforesaid principal 1. **SMT. APARNA GANGULY** and 2. **SUDIPTA BASU** are busy of our personal works and it would not be possible for us to raise such construction in the said property as such we have appointed 1. **SRI KARTICK GHOSH**, PAN. AJQPG4259E, son of Niranjana Ghosh residing at Fartabad Ganguly Para, P.S -Sonarpur, Kolkata -7000084 and 2. **BIJAN THOMAS**, PAN. AIRPT3609B, son of K.J.Thomas,, residing at 22/4/1A, Pranabananda Road, Garia, P.S-Patuli, Kolkata -7000084, both represented on behalf of **STARLIGHT** PAN. ACTFS6879A, a partnership Firm having its office at 22/4/1A, Pranabananda Road, Garia, P.S-Patuli, Kolkata -7000084, as our constituted attorney to do all any of the acts, deeds and things on our behalf to do the followings acts deeds things and matters to construct the building on the said property to say.

1. To enter into the said property for taking measuring of the land for preparation of necessary plan for construction of the building and to sign the proposed plans, applications, undertaking, declarations and other papers in connection therewith and to submit the same to the Rajpur Sonarpur Municipality and/or any competent authority and or to get the said plan/s sanctioned, approved and/or altered, if necessary from all other authorities required to be obtained for the same.

2. To prepare, sign, apply and execute all papers and documents in connection with sanction of the building plan by the Rajpur Sonarpur Municipality and /or any competent authority in respect of our said property mentioned in the Schedule hereunder and to appear and represent on behalf of us before all the Authorities of the Rajpur Sonarpur Municipality and / or any competent authority viz. building Department Assessment, collection, water, Drainage Department and / or other any required in the aforesaid matter and/or concern having jurisdiction over the said property and to sign verify affirm, deposit, submit as the case may be any affidavit, letters, declarations, application plans as may be required from time to time for securing consents, certificates clearances, sanction of the



Additional District Sub-Registrar,
Garha South 24 Parganas

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building including for connection reconnection of sewerage, drainage and water connection and all the amenities in or for any other purpose required for construction of the building or flats/apartments, car parking space and/or any space or spaces to be constructed on the said property.

3. To appear and represent on behalf me before the W.B.S.E.D.C.L, Fire Brigade Authority, Police Authorities, competent authority under Urban Land (Ceiling and Regulation) Act, 1976 land acquisition and requisition authority and all other authorities concerned to verify, affirm, deposit submit, as the case may be, any affidavit, declarations, letters, complaints, as may be required from time to time for securing consent, license quotas, permits, certificates and clearances for and or in respect of the building to be constructed at the said property.

4. To raise build and construct multistoried ~~storied~~, residential building or any other development works on the said property mentioned in the Schedule hereunder in compliance with Rajpur Sonarpur Municipality.

5. To appoint or discharge architects engineers, masons laborers etc. which may be required for the purpose of raising and construction the said newly proposed building or buildings in the said property described in the Schedule hereunder in accordance with the proposed sanction plan by the Rajpur Sonarpur Municipality and/or any competent authority.

6. To represent apply or to file or appear before the Rajpur Sonarpur Municipality and/or any competent authority to get the proposed plan sanction and execute the construction works properly for the completion of the proposed project.

7. To apply for permit for any building materials which may be required for the purpose of construction on the said property before any concerned authority.

8. To enter into an agreement for sale and /or transfer of the Developer's allocation as mentioned in the joint venture agreement dated 01/02/2019 duly registered in the office of the A.D.S.R

B. S. Thomas



Additional District Sub-Registrar,
Garia South 24 Parganas

01 FEB 2019

office at Garia, South 24 Parganas and any person or persons under any terms and conditions and receive advance/earnest money by granting receipt therefore on my behalf,

9. To receive the earnest money/ booking money from the intending purchaser/s and also the balance of purchase money and to give valid and effectual receipts and discharge for the same for the area as per joint venture Development agreement dated 01/02/2019 duly registered in the A.D.S.R Office at Garia being deed No. 466/19 for the year 2019 without creating any liability upon us.

10. To approve on our behalf the draft deeds of conveyances in respect of the said flats, car parking space and/or any spaces of the said building to be constructed on the schedule property as per said joint venture agreement.

11. To execute, sign and present any such agreement for sale, deed or deeds of sale, Lease and/or any nature of transfer before the Additional District Sub-Registrar office at Garia, District Registrar office at Alipur and / or Registrar of Assurances Kolkata or any other Registration Offices having authority for and to have the said deed or deeds of conveyance registered before the Registering authority for registration and to submit his/ their respective executions and acknowledge receipt of the earnest money and/or total consideration money thereto paid by the purchaser/s and to do all acts, deeds, things which my said attorney shall consider necessary for conveying proportionate share or interest in the said property together with the flats and car parking space, and/or any spaces to the intending purchaser or purchasers as fully and effectually in all respects allocated portion of the Developer as mentioned in the said joint venture Development agreement dated 01/02/2019 being deed No. 466/19 for the year 2019 duly registered in the A.D.S.R Office at Garia we could do the same myself, if personally present.

12. To sign appear and represent and/or to admit and to execute sale deed or deeds in favour of the intending purchaser or purchasers for sale of flats with proportionate undivided and undemarcated share of the land in our name on our behalf and to

Singh Thakur

B. Singh Thakur

2019 01 19



Additional District Sub-Registrar,
Garha South 24 Parganas

11 FEB 2019

represent the same for registration at the appropriate registration office or offices and admit execution thereof and possession will be handover thereto after proper registration.

13. To appoint Advocate or Advocates by signing Vakalatnama or any other papers and documents on our behalf.

14. To sign and verify plaint, petition and all documents and to sewerage and electricity swear an affidavit in relation to any suit or proceedings in respect of the said property.

15. To make any publication/advertisement for sale and/or transfer or for entering into any agreement for construction of any flats and car parking space in the proposed building of the said property in any newspapers, journals or any place or places.

16. To negotiate and settle terms with the intending buyer/s, customers, transferees for sale and or for construction agreement of any kind of in respect of the proposed building.

17. To take all steps before the Rajpur Sonarpur Municipality and/or any competent authority and or any competent authority sanitary sewerage and water supply meters of the development of the said property.

18. To do and perform every thing which may be required to be done for construction multistoried Storied building/ residential building on the land of the said property and or for the sale, lease or space or transfer of the flats and car Parking space and other built up spaces thereof in respect of the said property.

19. To pay and discharge all dues debts and expenses including the payment of revenue rates and taxes of the Rajpur Sonarpur Municipality and/or any competent authority in respect of the said property on our behalf.

21. To sign all papers applications, documents of the intending purchaser/s in the flats and car parking space and other spaces for obtaining loan of the same from his respective offices or from any financial institution in respect of the construction over the said property.



Additional District Sub-Registrar,
Garia South 24 Parganas

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AND GENERALLY We, do all acts, deeds, and things in respect of the said property which We would have done lawfully under our common deeds for the implementation in the Schedule hereunder AND We hereby ratify and confirm and acknowledge such acts, deeds, and things as may be lawfully done by our said attorney or attorneys by virtue of these presents.

SCHEDULE ABOVE REFERRED TO

ALL THAT the bastu land measuring 3 cottahs 4 Chittaks 36 sq.ft. a little more or less together with a 100sq.ft. Asbestos shed structure standing thereon lying and situate comprised in R.S.Dag No.3018, R.S.Khatian No. 186, Mouza Barhansfartabad, Pargana Medanmollah, J.L. No.47, R.S.No.7, Touzi No. 109, P.S-Sonarpur, within Rajpur Sonarpur Municipality, being Municipal Holding No. 2805 under ward No. 29, in the district 24 Parganas (South), butted and bounded in the following manner :-

ON THE NORTH : Portion of Dag No. 3018,
ON THE SOUTH : 16, wide Road,
ON THE EAST : 8, wide Road.
ON THE WEST : 16' Wide Road,

IN WITNESS WHEREOF set and subscribed our hands on this ^{1st} day of February in the year Two Thousand and Nineteen (2019).
SIGNED, SEALED AND DELIVERED

In presence of :

WITNESSES:-

1. Milan Biswa
Alipore Judge Court
KOL-27.

Sudipta Bora
APARNA GANGULY
SIGNATURE OF THE EXECUTOR
(Principals)

2. Manoj Kumar Ganguly
Fartehod Gangul Parg
KOL-29

For STARLIGHT
Kardick Ghosh
Partner Partner
Bim Thomas

**Accepted by me,
Attorney**

Drafted by: K.S. Mondal
K.S. MONDAL, EN. NO. F/1495/1477/78
Advocate, Alipur Judges' Court,
Kolkata-700027,



Additional District Sub-Registrar,
Garha South 24 Parganas

10.2 FEB 2019



भारत सरकार
GOVERNMENT OF INDIA



সুদীপ্তা বসু

SUDIPTA BASU

জন্ম তারিখ / DOB : 01/09/1983

মহিলা / FEMALE



6767 9511 6169

আমার আধার, আমার পরিচয়



भारतीय विशिष्ट पहचान प्राधिकरण
UNIQUE IDENTIFICATION AUTHORITY OF INDIA

Address
W/O: Netai Basu
FARTABAD KATHER BARI
Rajpur Sonarpur (M) Garia
South 24 Parganas West
Bengal - 700084

ঠিকানা:
W/O: নেতাই বসু, ফার্তাবাদ কঠের বারি
রাজপুর (মহানগর গারিয়া), পশ্চিম বঙ্গ
পিন কোড - 700084



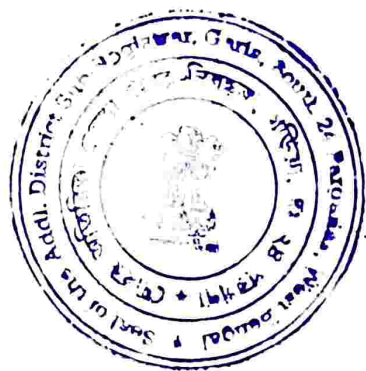
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P.O. Box No. 1947,
Bengaluru-560 001

Sudipta Basu



21/10/2023



ভারতীয় বিশিষ্ট পরিচয় প্রাধিকরণ
ভারত সরকার

Unique Identification Authority of India
Government of India

তালিকাভুক্তির আই ডি / Enrollment No. : 2010/17507/15020

To
KARTICK GHOSH
কর্তিক ঘোষ
27/04/2014
S/O: Niranjan Ghosh
FARTABAD GANGULY PARA
Rajpur Sonarpur (M)
Garia, South 24 Parganas
West Bengal - 700084



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90097801



আপনার আধার সংখ্যা / Your Aadhaar No. :

3541 6880 1800

আধার - সাধারণ মানুষের অধিকার



ভারত সরকার

Government of India

কর্তিক ঘোষ
KARTICK GHOSH
পিতা : নিরঞ্জন ঘোষ
Father : NIRANJAN GHOSH

জন্মতারিখ / DOB 15/12/1979
পুরুষ / Male



3541 6880 1800



আধার - সাধারণ মানুষের অধিকার

Kartick Ghosh



242



তথ্য

- আধার পরিচয়ের প্রমাণ, নাগরিকত্বের প্রমাণ নয়।
- পরিচয়ের প্রমাণ অনলাইন প্রমাণীকরণ দ্বারা লাভ করুন।

INFORMATION

- Aadhaar is proof of identity, not of citizenship.
- To establish identity, authenticate online.

- আধার সারা দেশে মান্য।
- আধার ভবিষ্যতে সরকারী ও বেসরকারী পরিষেবা প্রাপ্তির সহায়ক হবে।
- Aadhaar is valid throughout the country.
- Aadhaar will be helpful in availing Government and Non-Government services in future.



ভারতীয় বিনিষ্ট পরিচয় প্রাধিকরণ
Unique Identification Authority of India

ঠিকানা: /: নিরঞ্জন ঘোষ
ফরতাবাদ গাঙ্গুলী পাড়া
বাগপুর সোনারপুর (এম), গড়িয়া
দক্ষিণ ২৪ পরগণা, পশ্চিম বঙ্গ

Address: S/O: Niranjan
Ghosh, FARTABAD
GANGULY PARA, Rajpur
Sonarpur (M), South 24
Parganas, Garia West
Bengal, 700084

3541 6880 1800

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1800 300 1847

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 ভারত সরকার
 Unique Identification Authority of India
 Government of India

অনিকাঙ্কিত আইডি / Enrollment No. : 1040/21038/44992

22/02/2014
 To
 Bijan Thomas
 বিজান টমাস
 22/4/1A
 PRANABANANDA ROAD
 Garia
 Garia, South 24 Parganas
 West Bengal - 700084



KL781715622FT

78171562



আপনার আধার সংখ্যা / Your Aadhaar No. :

7278 9667 3406

আধার - সাধারণ মানুষের অধিকার



ভারত সরকার
 Government of India



বিজান টমাস
 Bijan Thomas
 পিতা : কে.জে. টমাস
 Father : K.J. Thomas

জন্মতারিখ/DOB: 11/11/1980
 পুরুষ / Male

7278 9667 3406



আধার - সাধারণ মানুষের অধিকার

Bijan Thomas
 7003936236 (M)



তথ্য

- আধার পরিচয়ের প্রমাণ, নাগরিকত্বের প্রমাণ নয়।
- পরিচয়ের প্রমাণ অনলাইন প্রমাণীকরণ দ্বারা লাভ করুন।

INFORMATION

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- আধার ভবিষ্যতে সরকারী ও বেসরকারী পরিষেবা প্রাপ্তির সহায়ক হবে।
- Aadhaar is valid throughout the country.
- Aadhaar will be helpful in availing Government and Non-Government services in future.



ঠিকানা: //এ, প্রনাবানন্দ রোড
গারিয়া, গারিয়া, দক্ষিণ ২৪ পরগণা
পশ্চিম বঙ্গ,

ভারতীয় বিশিষ্ট পরিচয় প্রমাণীকরণ
Unique Identification Authority of India

Address: 22/4/1A,
PRANABANANDA ROAD,
Garia, Garia, South 24
Parganas, West Bengal,
700084

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भारत सरकार
Unique Identification Authority of India
Government of India



তালিকাভুক্তির নম্বর/Enrolment No.: 2017/25074/31133

Date: 30/07/2016 Aparna Ganguly (অপর্ণা গাঙ্গুলী)

W/O: Shyamal Ganguly, fartabad ganguly para,
Rajpur Sonarpur (M), South 24 Parganas,
West Bengal - 700084

আপনার আধার সংখ্যা/ Your Aadhaar No.:

4164 1933 2563



আমার আধার, আমার পরিচয়



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তথ্য

- আধার পরিচয়ের প্রমাণ, নাগরিকত্বের প্রমাণ নয়
- পরিচয়ের প্রমাণ অনলাইন অথেন্টিকেশন দ্বারা লাভ করুন
- এটা এক ইলেকট্রনিক প্রক্রিয়ায় তৈরী পত্র

INFORMATION

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IDENTIFICATION AUTHORITY OF INDIA 01
Date: 2016.07.30 20:42:31 IST

- আধার সারা দেশে মান্য
- আধার আধারের জন্য আপনার একবারই তালিকাভুক্তি করার আবশ্যকতা আছে।
- অনুগ্রহ করে আপনার বর্তমান মোবাইল নম্বর এবং ই-মেইল ঠিকানা পরীক্ষা করুন। এতে ভবিষ্যতে আপনার বিভিন্ন সুবিধা পাওয়া সহজ হবে।
- Aadhaar is valid throughout the country.
- You need to enrol only once for Aadhaar.
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भारत सरकार
GOVERNMENT OF INDIA



भारतीय विशिष्ट पहचान प्राधिकरण
UNIQUE IDENTIFICATION AUTHORITY OF INDIA



অপর্ণা গাঙ্গুলী
Aparna Ganguly
জন্মতারিখ/ DOB: 15/08/1966
মহিলা / FEMALE



ঠিকানা:

ওয়াই/ও: শ্যামল গাঙ্গুলী,
ফর্তাবাদ গাঙ্গুলী পাড়া, রাজপুর
সোনারপুর (এম), দক্ষিণ ২৪
পরগনা,
পশ্চিম বঙ্গ - 700084

Address:

W/O: Shyamal Ganguly, fartabad
ganguly para, Rajpur Sonarpur
(M), South 24 Parganas,
West Bengal - 700084

4164 1933 2563

4164 1933 2563

আমার আধার, আমার পরিচয়

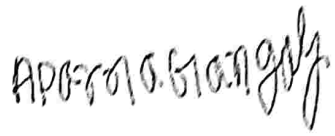
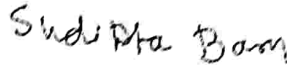
MEERA AADHAAR, MERI PEHACHAN

Aparna Ganguly



Under the Registrar

Principal Details :

SI No	Name,Address,Photo,Finger print and Signature			
1	Name Smt Aparna Ganguly Wife of Mr Shyamal Ganguly Executed by: Self, Date of Execution: 01/02/2019 , Admitted by: Self, Date of Admission: 01/02/2019 ,Place : Office	Photo  01/02/2019	Fingerprint  LTI 01/02/2019	Signature  01/02/2019
Fartabad Ganguly Para, P.O:- Garla, P.S:- Sonarpur, District:-South 24-Parganas, West Bengal, India, PIN - 700084 Sex: Female, By Caste: Hindu, Occupation: House wife, Citizen of: India, PAN No.:: BHCPG3221P, Status :Individual, Executed by: Self, Date of Execution: 01/02/2019 , Admitted by: Self, Date of Admission: 01/02/2019 ,Place : Office				
2	Name Smt Sudipta Basu Wife of Late Netal Basu Executed by: Self, Date of Execution: 01/02/2019 , Admitted by: Self, Date of Admission: 01/02/2019 ,Place : Office	Photo  01/02/2019	Fingerprint  LTI 01/02/2019	Signature  01/02/2019
Fartabad Katherbari, P.O:- Garla, P.S:- Sonarpur, District:-South 24-Parganas, West Bengal, India, PIN - 700084 Sex: Female, By Caste: Hindu, Occupation: House wife, Citizen of: India, PAN No.:: BMRPB1558C, Status :Individual, Executed by: Self, Date of Execution: 01/02/2019 , Admitted by: Self, Date of Admission: 01/02/2019 ,Place : Office				

Attorney Details :

SI No	Name,Address,Photo,Finger print and Signature
1	Starlight 22/4/1A, Pranabananda Road, P.O:- Garla, P.S:- Patuli, District:-South 24-Parganas, West Bengal, India, PIN - 700084 , PAN No.:: ACTFS6879A, Status :Organization, Executed by: Representative

Representative Details :

SI No	Name,Address,Photo,Finger print and Signature			
1	Name Mr Kartick Ghosh Son of Mr Niranjana Ghosh Date of Execution - 01/02/2019, , Admitted by: Self, Date of Admission: 01/02/2019, Place of Admission of Execution: Office	Photo  Feb 1 2019 12:13PM	Finger Print  LTI 01/02/2019	Signature  01/02/2019

Major Information of the Deed :- I-1629-00472/2019-01/02/2019



	Thumb	1st finger	Middle finger	Ring finger	Small Finger
Left hand					
Right hand					

Name SUDIPTA BASU

Signature Sudipta Basu



Left hand					
Right hand					

Name APARNA GANGULY

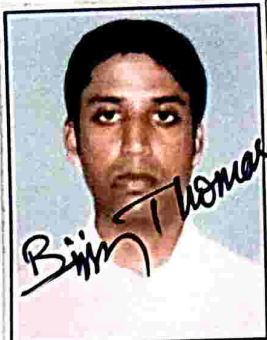
Signature APARNA GANGULY



Left hand					
Right hand					

Name KARTICK GHOSH

Signature Kartick Ghosh



Left hand					
Right hand					

Name BIJAN THOMAS

Signature Bijan Thomas

0294 ATTACHED
10/07/2019

11/07/2019
10/07/2019



11/07/2019
10/07/2019

Additional District Sub-Registrar,
Garo South 24 Parganas

11 FEB 2019

Major Information of the Deed

Deed No :	I-1629-00472/2019	Date of Registration	01/02/2019
Query No / Year	1629-1000030655/2019	Office where deed is registered	
Query Date	01/02/2019 11:49:29 AM	A.D.S.R. GARIA, District: South 24-Parganas	
Applicant Name, Address & Other Details	K S Mondal Alipore Judges Court,Thana : Alipore, District : South 24-Parganas, WEST BENGAL, Mobile No. : 9433308935, Status :Advocate		
Transaction		Additional Transaction	
[0138] Sale, Development Power of Attorney after Registered Development Agreement			
Set Forth value		Market Value	
Rs. 30,001/-		Rs. 60,19,500/-	
Stampduty Paid(SD)		Registration Fee Paid	
Rs. 50/- (Article:48(g))		Rs. 7/- (Article:E)	
Remarks	Development Power of Attorney after Registered Development Agreement of [Deed No/Year]:- 162900466/2019 Received Rs. 50/- (FIFTY only) from the applicant for issuing the assement slip.(Urban area)		

Land Details :

District: South 24-Parganas, P.S:- Sonarpur, Municipality: RAJPUR-SONARPUR, Road: Fartabad Road, Mouza: Barhans Fartabad, Holding No:2805 Pin Code : 700084

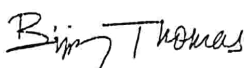
Sch No	Plot Number	Khatian Number	Land Use Proposed	Use ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	RS-3018	RS-186	Bastu	Bastu	3 Katha 4 Chatak 36 Sq Ft	1/-	59,89,500/-	Width of Approach Road: 16 Ft., Adjacent to Metal Road, , Project Name :
Grand Total :					5.445Dec	1 /-	59,89,500 /-	

Structure Details :

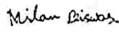
Sch No	Structure Details	Area of Structure	Setforth Value (In Rs.)	Market value (In Rs.)	Other Details
S1	On Land L1	100 Sq Ft.	30,000/-	30,000/-	Structure Type: Structure
Gr. Floor, Area of floor : 100 Sq Ft., Residential Use, Cemented Floor, Age of Structure: 5 Years, Roof Type: Tiles Shed, Extent of Completion: Complete					
Total :		100 sq ft	30,000 /-	30,000 /-	

Major Information of the Deed :- I-1629-00472/2019-01/02/2019

Fartabad Ganguly, P.O:- Garia, P.S:- Sonarpur, District:-South 24-Parganas, West Bengal, India, PIN - 700084, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: AJQPG4259E Status : Representative, Representative of : Starlight (as partner)

2	Name	Photo	Finger Print	Signature
	Mr Bijan Thomas (Presentant) Son of Mr K J Thomas Date of Execution - 01/02/2019, , Admitted by: Self, Date of Admission: 01/02/2019, Place of Admission of Execution: Office			
		Feb 1 2019 12:14PM	LTI 01/02/2019	01/02/2019
22/4/1A, Pranabananda Road Gaira, P.O:- Garia, P.S:- Patuli, District:-South 24-Parganas, West Bengal, India, PIN - 700084, Sex: Male, By Caste: Christian, Occupation: Business, Citizen of: India, , PAN No.:: AIRPT3609B Status : Representative, Representative of : Starlight (as partner)				

Identifier Details :

Name & address	
Mr Milan Biswas Son of Mr Swapan Biswas Alipore Judges Court, P.O:- Alipore, P.S:- Alipore, District:-South 24-Parganas, West Bengal, India, PIN - 700027, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , Identifier Of Smt Aparna Ganguly, Smt Sudipta Basu, Mr Kartick Ghosh, Mr Bijan Thomas	
	01/02/2019

Transfer of property for L1		
Sl.No	From	To. with area (Name-Area)
1	Smt Aparna Ganguly	Starlight-2.7225 Dec
2	Smt Sudipta Basu	Starlight-2.7225 Dec
Transfer of property for S1		
Sl.No	From	To. with area (Name-Area)
1	Smt Aparna Ganguly	Starlight-50.00000000 Sq Ft
2	Smt Sudipta Basu	Starlight-50.00000000 Sq Ft

Major Information of the Deed :- I-1629-00472/2019-01/02/2019

On 01-02-2019

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 48 (g) of Indian Stamp Act 1899.

Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)

Presented for registration at 12:03 hrs on 01-02-2019, at the Office of the A.D.S.R. GARIA by Mr Bijan Thomas .

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 60,19,500/-

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 01/02/2019 by 1. Smt Aparna Ganguly, Wife of Mr Shyamal Ganguly, Fartabad Ganguly Para, P.O: Garia, Thana: Sonarpur, , South 24-Parganas, WEST BENGAL, India, PIN - 700084, by caste Hindu, by Profession House wife, 2. Smt Sudipta Basu, Wife of Late Netai Basu, Fartabad Katherbari, P.O: Garia, Thana: Sonarpur, , South 24-Parganas, WEST BENGAL, India, PIN - 700084, by caste Hindu, by Profession House wife
Indetified by Mr Milan Biswas, , , Son of Mr Swapan Biswas, Alipore Judges Court, P.O: Alipore, Thana: Alipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Business

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962) [Representative]

Execution is admitted on 01-02-2019 by Mr Kartick Ghosh, partner, Starlight, 22/4/1A, Pranabananda Road, P.O:- Garia, P.S:- Patuli, District:-South 24-Parganas, West Bengal, India, PIN - 700084

Indetified by Mr Milan Biswas, , , Son of Mr Swapan Biswas, Alipore Judges Court, P.O: Alipore, Thana: Alipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Business

Execution is admitted on 01-02-2019 by Mr Bijan Thomas, partner, Starlight, 22/4/1A, Pranabananda Road, P.O:- Garia, P.S:- Patuli, District:-South 24-Parganas, West Bengal, India, PIN - 700084

Indetified by Mr Milan Biswas, , , Son of Mr Swapan Biswas, Alipore Judges Court, P.O: Alipore, Thana: Alipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Business

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 7/- (E = Rs 7/-) and Registration Fees paid by Cash Rs 7/-

Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 50/- and Stamp Duty paid by Stamp Rs 50/-

Description of Stamp

1. Stamp: Type: Impressed, Serial no 1024, Amount: Rs.50/-, Date of Purchase: 31/01/2019, Vendor name: Tapas Halder



Debasish Dhar
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. GARIA
South 24-Parganas, West Bengal

Major Information of the Deed :- I-1629-00472/2019-01/02/2019

Certificate of Registration under section 60 and Rule 69.

Registered in Book - I

Volume number 1629-2019, Page from 17900 to 17917
being No 162900472 for the year 2019.



Dhar

Digitally signed by DEBASISH DHAR
Date: 2019.02.05 13:20:21 +05:30
Reason: Digital Signing of Deed.

(Debasish Dhar) 05-Feb-19 1:18:49 PM
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. GARIA
West Bengal.

(This document is digitally signed.)