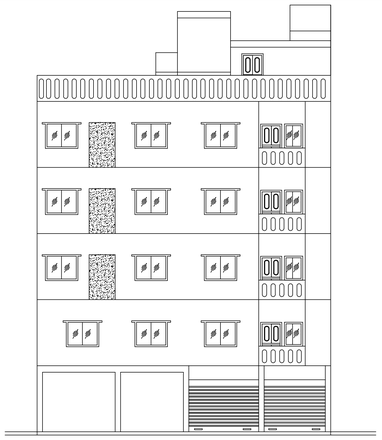
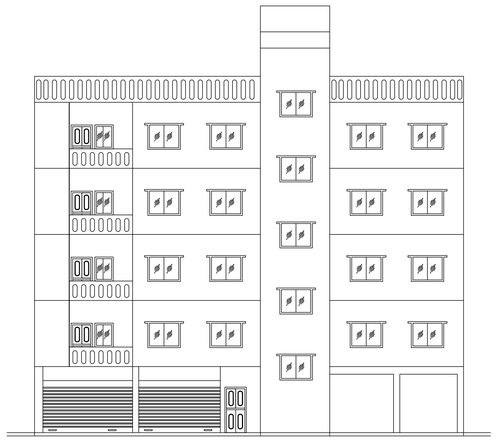
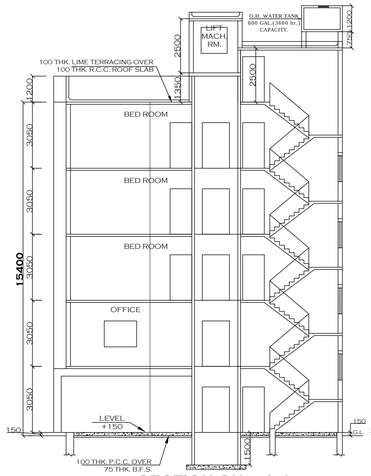


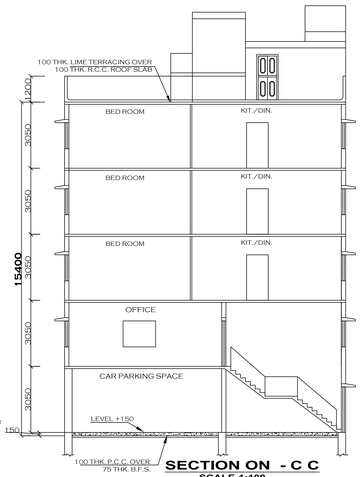
SOUTH WEST SIDE ELEVATION



SOUTH EAST SIDE ELEVATION



SECTION ON - A A
SCALE-1:100



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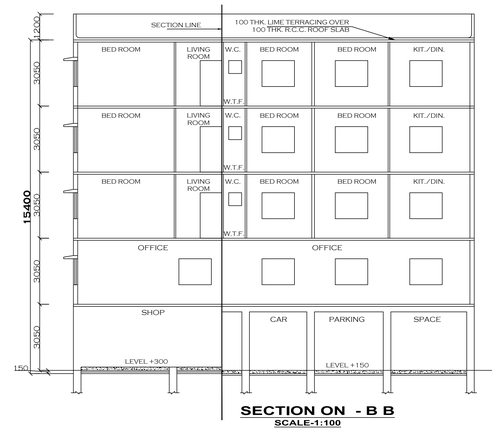

SECTION ON - B B
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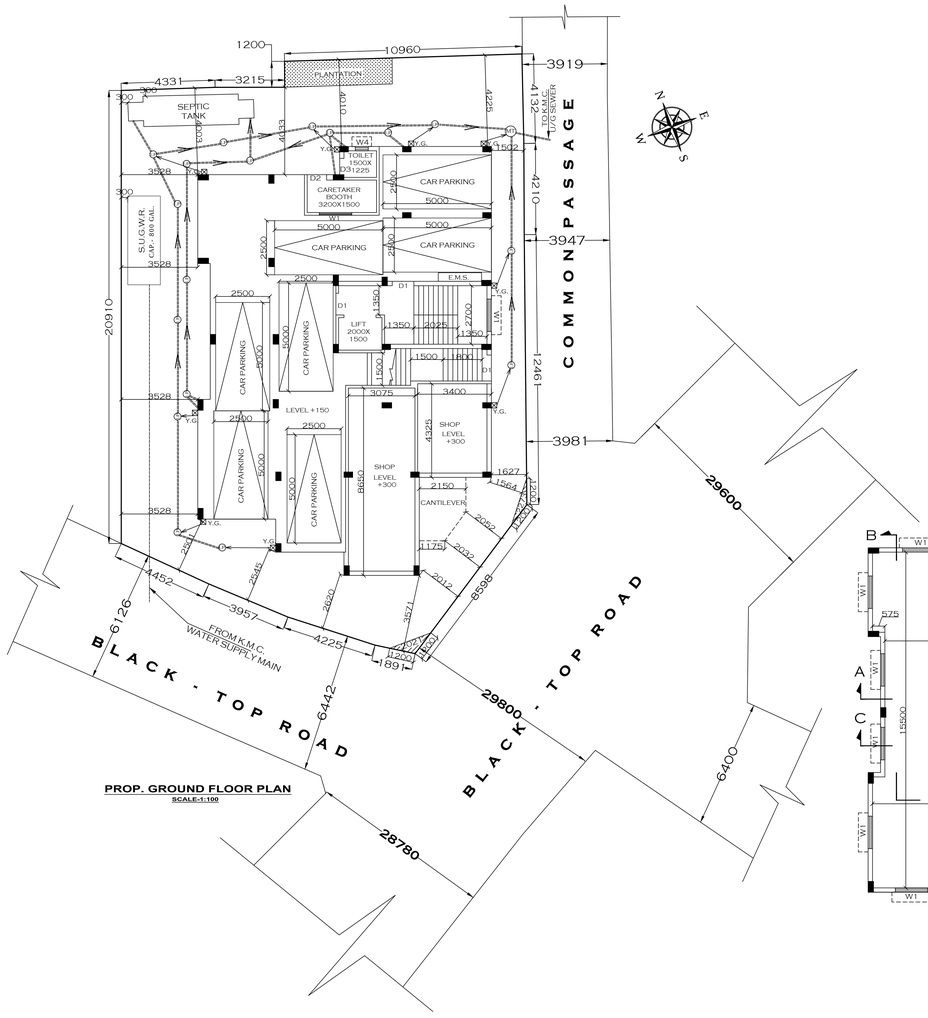
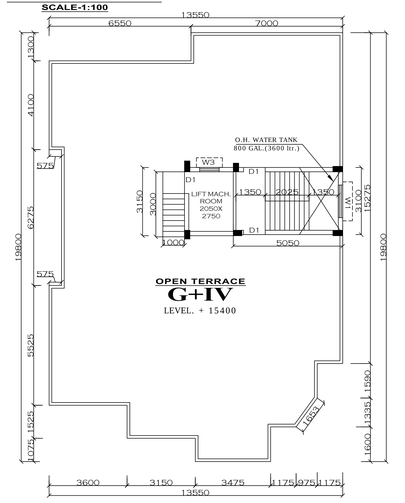
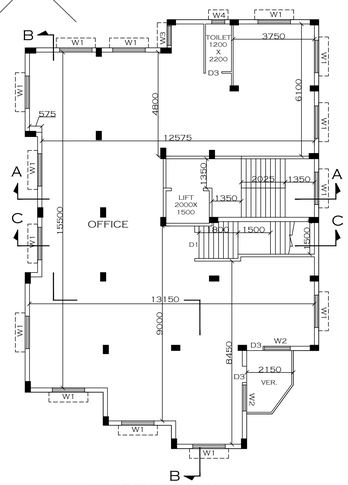
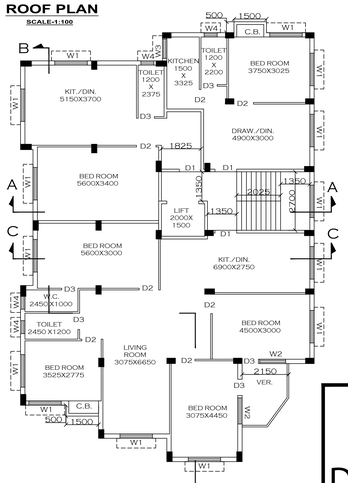




ROOF PLAN
SCALE-1:100



FIRST FLOOR PLAN
SCALE-1:100



SECOND, THIRD & FOURTH FLOOR PLAN
SCALE-1:100

SCHEDULE OF DOORS & WINDOWS

DOOR			WINDOW		
TYPE	WIDTH	HEIGHT	TYPE	WIDTH	HEIGHT
D1	1000	2100	W1	1500	1200
D2	900	2100	W2	1200	1200
D3	750	2100	W3	900	1200
			W4	600	750

NOTES AND SPECIFICATION

1. ALL DIMENSIONS ARE IN MM. OTHERWISE MENTIONED.
2. ALL EXTERNAL WALLS ARE 200 MM. THK. CONSTRUCTED WITH CEMENT SAND MORTAR 1:6 AND INTERNAL PARTITION WALLS ARE 125 MM. THK. AND 75 MM. THK. WITH 1:4 CEMENT SAND MORTAR.
3. REINFORCEMENT CEMENT CONC. WORK WITH CEMENT SAND STONE CHIPS (1:1.5:3).
4. GRADE OF CONCRETE = M-20 AND GRADE OF STEEL = Fe 500.
5. PLASTERING WITH CEMENT SAND MORTAR 1:4 FOR R.C.C. WORK AND 1:6 FOR BRICK WORK.
6. PLAIN CEMENT CONC. WITH SAND CEMENT AND JHAMA KHOA (1:3:6).
7. DEPTH OF SEPTIC TANK & S.U.G.W.R. DOES NOT EXCEED THE DEPTH OF NEARBY BUILDING FOUNDATION.
8. ALL PROJECTED CHAJJA ARE 450 WIDE.

DECLARATION OF STRUCTURAL ENGINEER.

THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT. SOIL TESTING HAS BEEN DONE BY SRI KALLOL KUMAR GHOSHAL OF M/S. TECHNO SOIL OF GORRHARA, ARUNACHAL, SONARPUR, KOLKATA- 700 150. THE RECOMMENDATIONS OF SOIL TEST REPORT HAS BEEN CONSIDERED DURING STRUCTURAL CALCULATIONS.

SANAT KUMAR CHAKRAVORTY
(E.S.E. NO. - 261/I)
NAME OF STRUCTURAL ENGINEER.

DECLARATION OF OWNER

I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT :

- I SHALL ENGAGE L.B.S. AND E.S.E. DURING CONSTRUCTION OF PROPOSED BUILDING.
- I SHALL FOLLOW THE INSTRUCTIONS OF L.B.S. AND E.S.E. DURING CONSTRUCTION OF THE BUILDING [AS PER B.S. PLAN].
- K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING AND ADJOINING STRUCTURES.
- IF ANY SUBMITTED DOCUMENTS ARE FOUND FAKE, THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN.
- THE PLOT IS IDENTIFIED BY ME .

SRI SUDEV CHAKRABORTY
NAME OF OWNER

DECLARATION OF GEO - TECHNICAL ENGINEER.

UNDERSIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREGN. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HEREIN IS SAFE & STABLE IN ALL RESPECT FROM GEO TECHNICAL POINT OF VIEW.

SRI KALLOL KUMAR GHOSHAL
(G.T.E. NO. - 14/II)
NAME OF GEO - TECHNICAL ENGINEER.

STATEMENT OF PLAN PROPOSAL.

PART- A

1. ASSESSEE NO : 31-106-16-1267-5
2. NAME OF OWNER :- **SRI SUDEV CHAKRABORTY**
3. DETAILS OF REGISTERED DEED:- BOOK NO: I, VOLUME NO. 5, PAGES FROM 2852 TO 2867, BEING NO.-02042, REGD. AT D.S.R.-III, SOUTH 24 PARGANAS, DATED- 12/03/2014.
   BOOK NO: I, VOLUME NO. 1603-2019, PAGES FROM 79826 TO 79846, BEING NO.-160302497, REGD. AT D.S.R.-III, SOUTH 24 PARGANAS, DT.- 29/07/2019.
4. DETAILS OF REG. BOUNDARY DECL.:- BOOK NO: I, VOLUME NO. 1604-2022, PAGES FROM 103434 TO 103444, BEING NO.- 160402872, REGD. AT D.S.R.-IV, SOUTH 24 PARGANAS, DT.- 21/03/2022.
5. DETAILS OF REG. SPLAYED CORNER :- BOOK NO: I, VOLUME NO. 1604-2022, PAGES FROM 103445 TO 103455, BEING NO.- 160402873, REGD. AT D.S.R.-IV, SOUTH 24 PARGANAS, DT.- 21/03/2022.
6. DETAILS OF CONVERSION CERTIFICATE :- MEMO NO.- 17/06/BLLRO/KOL/22, DT.- 21/03/2022.

PART- B.

1. AREA OF LAND:-
   AS PER TITLE DEED :- 454.292 SQ.M. (06 K. - 12 CH. - 30 SFT.)
2. AREA OF LAND:- 454.262 SQM. (AS PER BOUNDARY DECL.)
3. PERMISSIBLE GROUND COVERAGE :- = 234.057 SQM. = 51.525 %
4. PROPOSED GROUND COVERAGE :- = 234.013 SQM. = 51.515 %
5. PROPOSED AREA :-

FLOOR WISE	TOTAL FLOOR AREA	TOTAL EXEMPTED AREA: STAIR + STAIR LOBBY (RESIDENTIAL)	STAIR + STAIR LOBBY (BUSINESS)	CUT OUT AREA	LIFT - WELL AREA	LIFT - LOBBY AREA	TOTAL	NET FLOOR AREA
GROUND FLOOR	228.375 SQM.	12.758 SQM.	8.228 SQM.	—	—	2.869 SQM.	204.520 SQM.	
FIRST FLOOR	234.013 SQM.	12.758 SQM.	—	8.228 SQM.	3.000 SQM.	2.869 SQM.	207.158 SQM.	
SECOND FLOOR	234.013 SQM.	12.758 SQM.	—	—	3.000 SQM.	2.869 SQM.	215.386 SQM.	
THIRD FLOOR	234.013 SQM.	12.758 SQM.	—	—	3.000 SQM.	2.869 SQM.	215.386 SQM.	
FOURTH FLOOR	234.013 SQM.	12.758 SQM.	—	—	3.000 SQM.	2.869 SQM.	215.386 SQM.	
TOTAL	1364.427 SQM.	63.790 SQM.	8.228 SQM.	8.228 SQM.	12.00 SQM.	14.345 SQM.	1057.836 SQM.	

6. PARKING CALCULATION :- A)

TENAMENT AREA	AREA TO BE ADDED	TOTAL AREA	TENAMENT NO.	REQUIRED PARKING
122.772 SQM.	19.025 SQM.	141.797 SQM.	3 NOs.	7 NOS
52.209 SQM.	8.090 SQM.	60.300 SQM.	3 NOs.	
39.447 SQM.	6.113 SQM.	45.559 SQM.	3 NOs.	
CARPET AREA OF OFFICE		:- 184.172 SQM.		
CARPET AREA OF SHOP		:- 42.209 SQM.		
		TOTAL REQUIRED PARKING		7 NOS

6. B) NOS. OF PARKING PROVIDED - COVERED = 7 NOS. & OPEN = NIL.
6. C) PERMISSIBLE AREA FOR PARKING AT GROUND FLOOR:- = 7 X 25 =175 SQM.
6. D) ACTUAL AREA OF PARKING PROVIDED AT GROUND FLOOR - 142.422 SQM.
7. PERMISSIBLE F.A.R. = 3.00
8. PROPOSED F.A.R. =(1057.836 -142.422) / 454.262 = 2.015
9. ROOF TANK AREA :- 6.200 SQM.
10. STAIRCOVER AREA IN ROOF :- 15.655 SQM.
11. LIFT MACHINE ROOM AREA :- 7.363 SQM.
12. L.M.R. STAIR AREA :- 3.000 SQM.
13. TREE COVER AREA :- 5.961 SQM.
14. CUPBOARD AREA :- 4.500 SQM.
15. ADD. AREA FOR FEES :- 30.518 SQM.
16. CARPET AREA OF SHOP :- 42.209 SQM.
17. COVERED AREA OF SHOP :- 44.792 SQM.
18. CARPET AREA OF OFFICE :-184.172 SQM.
19. COVERED AREA OF OFFICE :-214.017 SQM.

DECLARATION OF L.B.S.

CERTIFIED THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF K.M.C BUILDING RULES 2009 AS AMMENDED FROM TIME TO TIME AND THAT THE SITE CONDITION INCLUDING THE WIDTH OF ABUTTING ROAD CONFORM WITH THE PLAN WHICH HAS BEEN MEASURED AND VERIFIED BY ME. IT IS A BUILDABLE SITE AND NOT A TANK OR FILLED UP TANK.

- THE PLOT IS WITHIN 500 M. FROM THE CENTRE LINE OF E.M. BYE-PASS.
- THE PLOT IS DEMARCATED BY BOUNDARY WALL.
- CONSTRUCTION OF U.G. WATER TANK AND SEPTIC TANK WILL BE COMPLETED BEFORE STARTING OF BUILDING FOUNDATION WORK.

HIRANMOY SARKAR (L.B.S. NO. - 1016/I)
NAME OF L.B.S.

PLAN OF PROPOSED G+IV STORIED RESIDENTIAL BUILDING UNDER SEC. 393A OF K.M.C. ACT. 1980 COMPLYING B/R 2009 AT PREMISES NO.- **1267, PURBACHAL MAIN ROAD,** WARD NO.- 106, BOROUGH NO.- XII, UNDER R.S. DAG NO. - 2, R.S. KHATIAN NO.- 11,33,61 & 94, MOUZA - KALIKAPUR, J.L. NO.- 20, P.S.- GARFA.

B.P. NO. - 2022120296 DATED- 14-SEP-22 .
VALID UPTO- 13-SEP-27 .

DEBASIS SOM Digitally signed by DEBASIS SOM Date: 2022.09.14 18:55:11 +05'30'
DIGITAL SIGN. OF A.E.

SHIBA PRASAD JANA Digitally signed by SHIBA PRASAD JANA Date: 2022.09.14 18:59:55 +05'30'
DIGITAL SIGN. OF E.E.

SHEET NO. - 1 OF 2