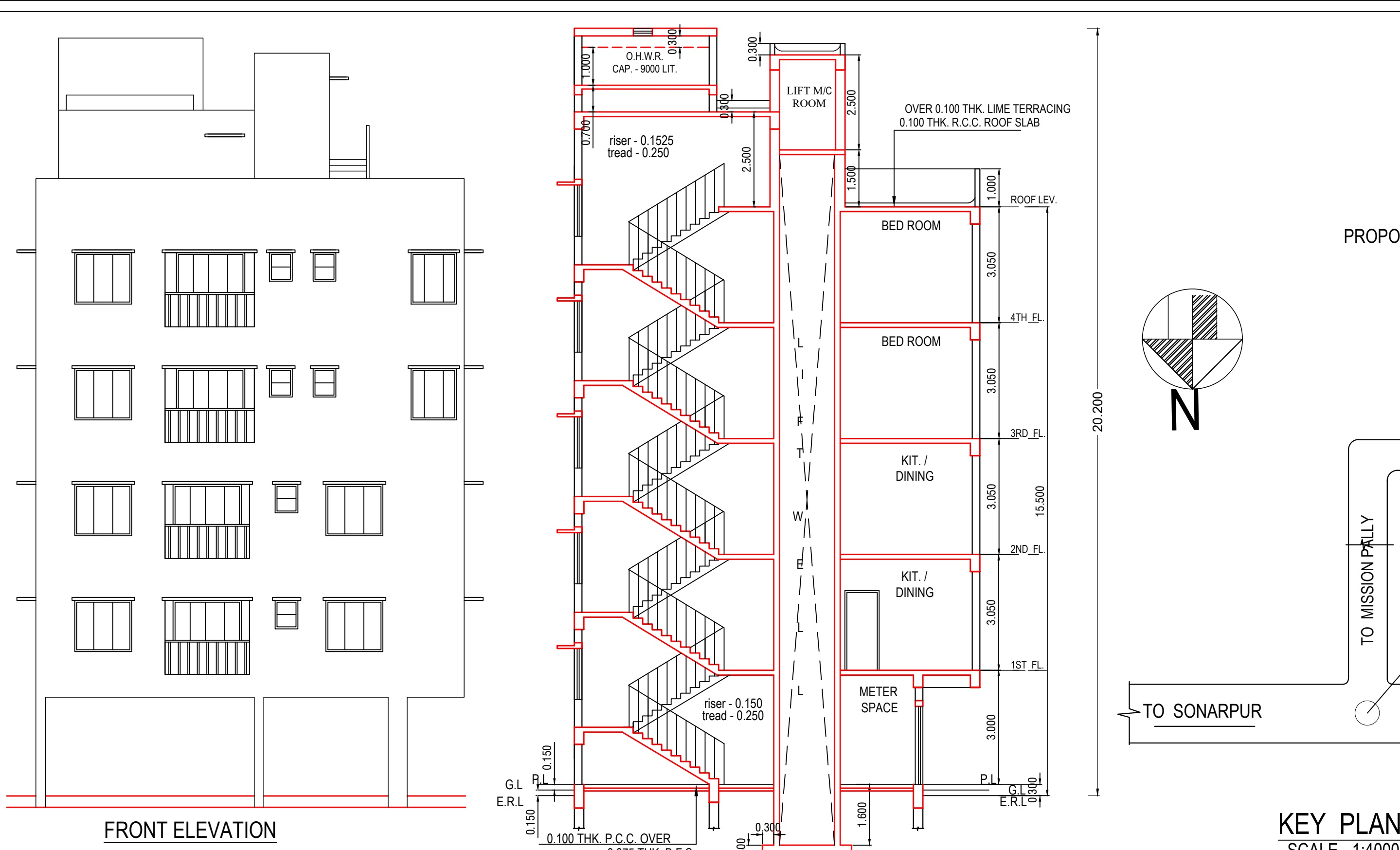
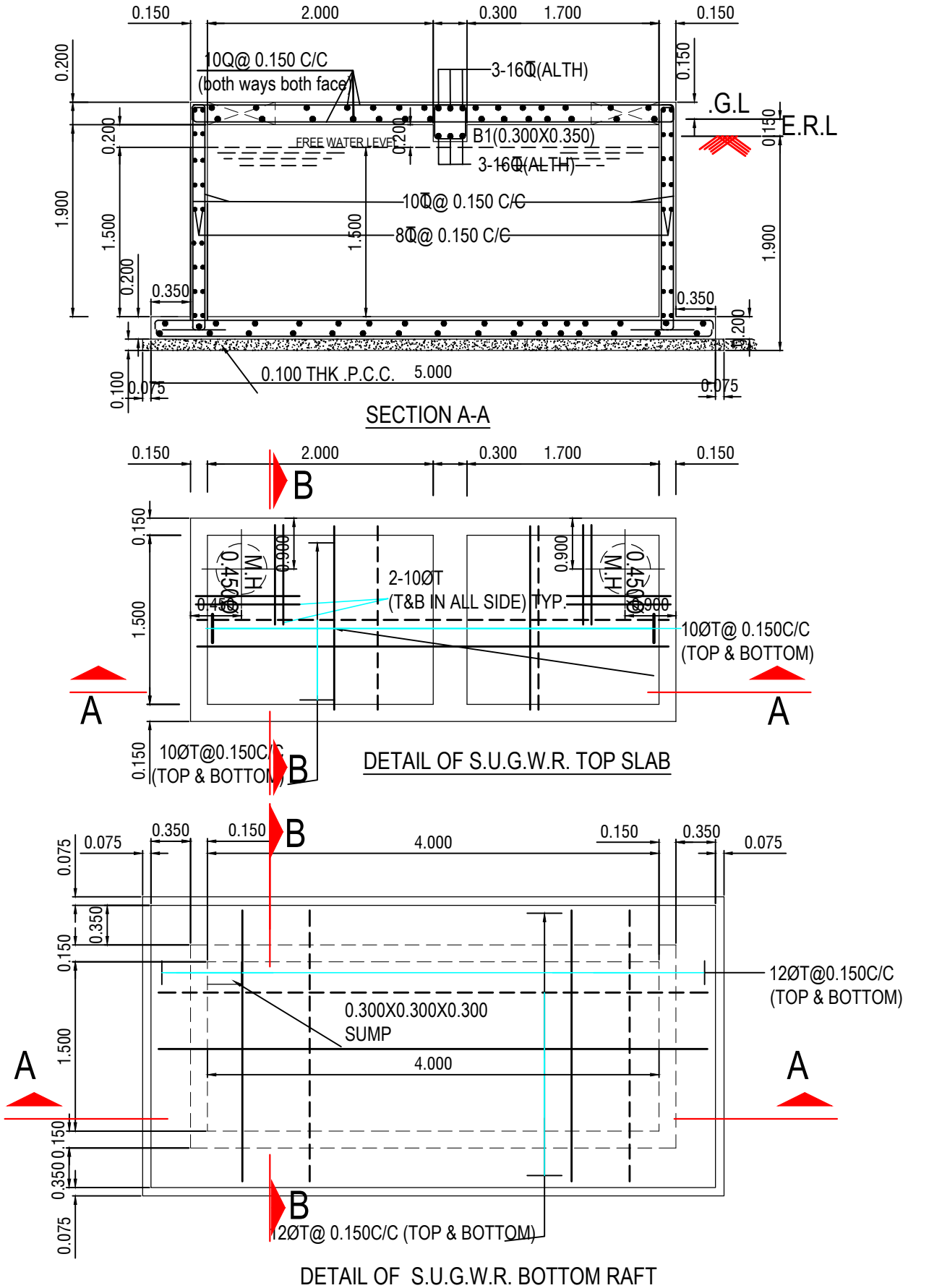
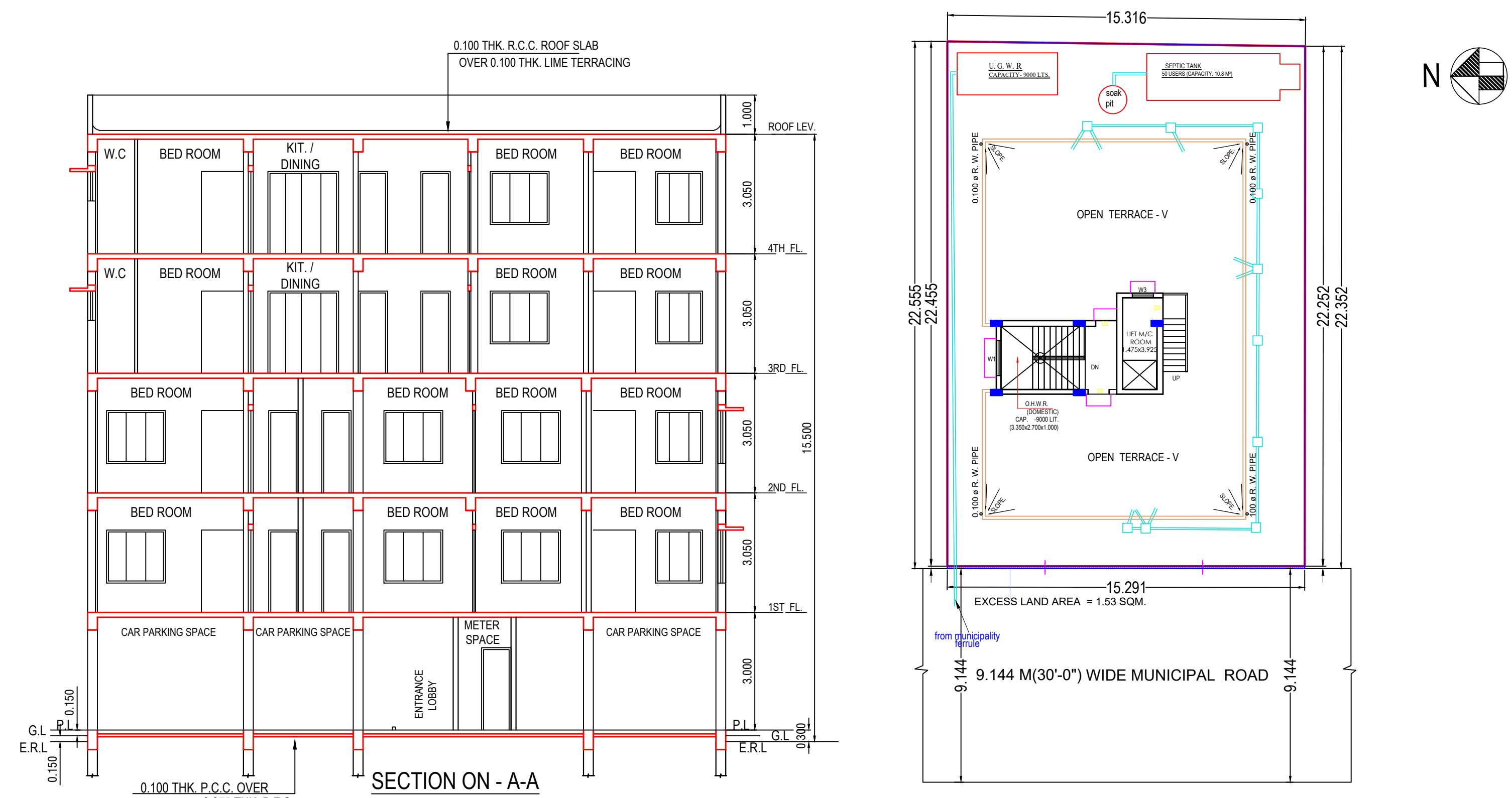




LAND AREA (AS PER E- MUTATION) = 342.809 Sq.m. (5 Ka - 2 ch. - 00 sqft.)
LAND AREA (PHYSICAL) = 343.595 SQM. (5 Ka - 2 ch. - 8.46 sqft.)
EXCESS LAND AREA RELEASED ROAD = 1.53 SQM.
NET LAND AREA = (343.595 - 1.53) = 342.065 SQM.
PER GR. COV (57.9%) = 198.056 Sqm.
PRO. GR COV = 181.88 SQM
PERMISSIBLE F.A.R. = 2.25
PERMISSIBLE BUILDING HEIGHT = 15.5 M.
PROPOSED BUILDING HEIGHT = 15.5M.
PROVIDED SERVICE AREA = 16.63 sqm
NO. OF FLATS = 10 nos.
TOTAL NO. OF PARKING PROVIDED = 6 NO.S (COVERED).

FLOOR MKD	TOTAL AREA	LIFT WELL	ACTUAL AREA WITHOUT LIFT	RESI. STAIR AREA (INSIDE)	LIFT LOBBY AREA	AREA EXCLUDING LIFT LOBBY +STAIR AREA	ACTUAL RESIDENTIAL AREA	CAR PARKING AREA		C.B AREA		F.A.R. CALCULATION /LAND AREA
								PERM.	PROVIDED	PERM.	PROVIDED	
GROUND FLOOR	157.47	-	157.47	13.365	2.108	141.997		5 x 25 = 125	116.89			(800.377-116.89) /342.065 = 1.998
FIRST FLOOR	181.88	1.812	180.068	13.365	2.108	164.595	162.96		-	5.4	2.75	
SECOND FLOOR	181.88	1.812	180.068	13.365	2.108	164.595	162.96		-	5.4	2.75	
THIRD FLOOR	181.88	1.812	180.068	13.365	2.108	164.595	162.96		-	5.4	2.75	
FOURTH FLOOR	181.88	1.812	180.068	13.365	2.108	164.595	162.96		-	5.4	2.75	
TOTAL FL AREA	884.99	7.248	877.742	66.825	10.54	800.377	651.84	125	116.89	21.6	11.0	
USES	TOTAL AREA / FLOOR	NO OF FLOOR	TOTAL AREA	REQUIRED PARKING		PARKING PROVIDED				TOTAL NO.		
				COVERED	AREA	COVERED PARKING		AREA				
						NO	OPEN					
RESIDENTIAL AREA	162.96	4	651.84	651.84 / 120 = 5.432 SAY 5	5 x 25 = 125	6	0	116.89	6			
TOTAL FLOOR AREA WITH C.B = (877.742+11.0) = 888.742 SQMT. STAIR HEAD ROOM AREA = 17.01 SQMT. TOTAL FLOOR AREA WITH STAIR HEAD ROOM = (888.742+17.01) = 905.752 SQMT.												

TOTAL FLOOR AREA WITH C.B. = (877.742+11.0) = 888.742 SQM.
STAIR HEAD ROOM AREA = 17.01 SQM.
TOTAL FLOOR AREA WITH STAIR HEAD ROOM = (888.742+17.01) = 905.752 SQM.



DOOR & WINDOW SCHEDULE			
MARK.	SIZE	MARK.	SIZE
W1	1.500X1.350	D	1.200 X 2.100
W2	1.200X1.350	D1	1.050 X 2.100
W3	0.900X1.200	D2	0.900 X 2.100
W4	0.600X0.750	D3	0.750X2.100
fid	1.800X2.100		

- NOTES
- ALL DIMENSIONS ARE IN M.
 - ALL EXTERNAL WALLS ARE 0.200 TH. AND INTERNAL WALLS ARE 0.125 TH.
 - SCALE - 1:100
 - SAFE BEARING CAPACITY OF SOIL 7 MT/SQ.M. ASSUMED
 - DEPTH OF SEPTIC TANK AND SEMI U.G. WATER RESERVOIR WILL NOT EXCEED THE DEPTH OF BUILDING FOUNDATION
 - ALL SORTS OF PRECAUTIONARY MEASURE WILL BE TAKEN AT THE TIME OF CONSTRUCTION

- SPECIFICATIONS
- 0.075 TH. 1ST. CLASS BRICK SOLING IN FOUNDATION & FLOOR
 - 0.150 TH. 1:3:6 CEMENT SAND & KHAOL CEMENT CONCRETE IN FOUNDATION & FLOOR
 - FOUNDATION BRICK WORK WILL BE 1ST CLASS BRICK WITH 1:5 CEMENT MORTAR
 - 0.125 TH. & 0.075 TH. PARTITION BRICK WORK WILL BE 1:5 CEMENT MORTAR
 - 0.200TH. EXTERNAL WALLS WILL BE 1:6 CEMENT MORTAR
 - 0.025 TH. D.P.C. WILL BE 1:2:4 WITH PROPER WATER PROOFING COMPOUND
 - R.C.C. CONC. MIX WILL BE 1:2:4 CEMENT SAND & STONE CHIPS MATERIALS AND MIXING
 - ROOF AND LIME TERRACING WILL BE 0.100 TH. WITH THEIR PROPER
 - CEILING AND ALL R.C. PLASTER WILL BE 0.012m. Th. 1:4 CEMENT MORTAR
 - GRADE OF CONCRETE M - 20
 - ALL BUILDING MATERIALS WILL BE AS PER I.S. CODE & C.B.C. 1984

DECLARATION OF E.B.A.

I/WE DO HEREBY CERTIFY THAT PLANS, ELEVATIONS AND SECTIONS AND OTHER STRUCTURAL DETAILS OF THE PROPOSED BUILDINGS ON HOLDING NUMBER 652, TEGHARI, WARD NO. 8 UNDER THE JURISDICTION OF RAJPUR SONARPUR MUNICIPALITY HAVE BEEN PREPARED IN CONFIRMING WITH ALL RELEVANT PROVISIONS UNDER THE WEST BENGAL MUNICIPAL (BUILDING) RULES 2007. THIS ALSO TO CERTIFY THAT RELEVANT NO OBJECTION CERTIFICATES FROM THE RESPECTIVE AUTHORITIES SUCH AS, FIRE AND EMERGENCY SERVICE DEPARTMENT, AIRPORT AUTHORITY, POLLUTION CONTROL BOARD, TELECOMMUNICATION DEPARTMENT ETC. AS APPLICABLE IN THIS REGARD, ARE ALSO ENCLOSED WITH THE APPLICATIONS FOR SEEKING APPROVAL OF THE PLAN TO CONSTRUCT/RECONSTRUCT/ADDITION TO ALTERATION OF THE BUILDING ON THE SAID HOLDING.

SARBANI MAZUMDER
COA. REG. NO. 9215458
E.B.A. NO.-055
UNDER RAJPUR SONARPUR MUNICIPALITY
SIGNATURE OF E.B.A.

STRUCTURAL CERTIFICATE

I/WE DO HEREBY CERTIFY THAT THE FOUNDATION AND SUPER STRUCTURE OF THE BUILDING PROPOSED FOR CONSTRUCTION AT HOLDING NO. 652, TEGHARI, WARD NO. 8 UNDER THE JURISDICTION OF RAJPUR SONARPUR HAVE BEEN PERSONALLY INSPECTED AND SO DESIGN BY ME/US WILL MAKE SUCH FOUNDATION AND SUPERSTRUCTURE SAFE IN ALL RESPECT INCLUDING THE CONSIDERATION OF BEARING CAPACITY AND SETTLEMENT OF SOIL AND OTHER CONDITIONS. IF ANY, CONFIRMING TO ALL STIPULATIONS OF ALL RELEVANT IS CODE OF PRACTICE AND NATIONAL BUILDING CODE.

DIPANKAR BHOWMIK
B.E. M.E. F.I.V.
ENLISTMENT NO-EESE 91RIPSONESE/2014-15
RAJPUR SONARPUR MUNICIPALITY
SIGNATURE OF STRUCTURAL ENGINEER

I/WE DO HEREBY CERTIFY THAT THE FOUNDATION AND SUPER STRUCTURE OF THE BUILDING PROPOSED FOR CONSTRUCTION AT HOLDING NO. 652, TEGHARI, WARD NO. 8 UNDER THE JURISDICTION OF RAJPUR SONARPUR HAVE BEEN PERSONALLY INSPECTED AND SO DESIGN BY ME/US WILL MAKE SUCH FOUNDATION AND SUPERSTRUCTURE SAFE IN ALL RESPECT INCLUDING THE CONSIDERATION OF BEARING CAPACITY AND SETTLEMENT OF SOIL AND OTHER CONDITIONS. IF ANY, CONFIRMING TO ALL STIPULATIONS OF ALL RELEVANT IS CODE OF PRACTICE AND NATIONAL BUILDING CODE.

JISHNU PAL
G.T/1/32
SIGNATURE OF GEOTECHNICAL ENGINEER

ARPARNA DE
SIGNATURE OF OWNER

PROJECT
PROPOSED G-IV STORIED RESIDENTIAL BUILDING AT HOLDING NO.- 652, TEGHARI ; WARD NO.- 8, L.R DAG NO.-253, R.S DAG NO.-130,131,134,135, L.R KHATIAN NO.- 2191 (OLD KHATIAN NO. 439), R.S KHATIAN NO.-18,3,105,82, MOUZA- NISCHINTAPUR, J.L. NO. - 53,P.S.- NARENDRAPUR (OLD SONARPUR), DIST -24.PGS(S), UNDER RAJPUR- SONARPUR MUNICIPALITY.

DRAWN - SUNIPA DESIGNED - CHECKED - APPROVED -	SCALE - 1:100 DATE - 30.05.2025 JOB NO

Sanyalson Associates
Consultant Pvt. Ltd.
CONSULTANT PLANNER & STRUCTURAL ENGINEERS
P-157 KANUNGO PARK, HULKATA-84

OFFICE USE ONLY

